



City of El Cajon

Planning Commission Agenda

Tuesday, September 20, 2022 Meeting

7:00 PM

DARRIN MROZ, Chair
REBECCA POLLACK-RUDE, Vice Chair
PAUL CIRCO
ANTHONY SOTTILE
ELIZABETH VALLES

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA, 92020

Please note that, pursuant to State and County Health Orders, in-person meetings have resumed. The public is welcome to attend and participate.

The meeting will be live-streamed through the City website at: <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>.

To submit written comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to planning@elcajon.gov before 5 p.m. on Tuesday, September 20, 2022. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

The City of El Cajon is endeavoring to be in total compliance with the Americans with Disabilities Act. If you require assistance or auxiliary aids in order to participate at the Commission meeting, please contact our office at 619-441-1742, option 3, as soon as possible.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

CONSENT

Agenda Item:	1
	Planning Commission minutes of August 16, 2022

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Monday, October 3, 2022, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.

PUBLIC HEARINGS

Agenda Item:	2
Project Name:	Shadow Mountain Athletic Field Improvements
Request:	Replacement bleachers and field netting
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Minor Amendment (MA) No. 2022-0008
Location:	2100 Greenfield Drive
Applicant:	Trev Holman; trev.holman@shadowmountain.org
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajian.gov
City Council Hearing Required?	No
Recommended Actions:	1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and MA-2022-0008 to Specific Plan No. 523 subject to conditions.

Agenda Item:	3
Project Name:	Appeal of Director's Determination – ALDI Store
Request:	An Appeal of the Director's Denial of a Finding of Public Convenience or Necessity for an Off-Sale Alcohol License
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	CONTINUANCE TO A DATE CERTAIN, OCTOBER 4, 2022
Location:	123 Fletcher Parkway
Applicant:	S. Douglas Kerner; kerner@higgslaw.com
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajian.gov
City Council Hearing Required?	No
Recommended Actions:	3. Conduct the public hearing; and 4. Continue the public hearing to a date certain, October 4, 2022

4. OTHER ITEMS FOR CONSIDERATION

- a. Proposed Resolution of Intention to Amend the Zoning Code for Deemed Approved Lodging Establishments

5. STAFF COMMUNICATIONS

6. COMMISSIONER REPORTS/COMMENTS

7. ADJOURNMENT

This Planning Commission meeting is adjourned to October 4, 2022 at 7 p.m.

Decisions and Appeals - A decision of the Planning Commission is final unless appealed within 10 days of the date of the Commission's action. The appeal period for the items on this Agenda will end on Monday, October 3, 2022, at 5:00 p.m. Agenda items which are forwarded to City Council for final action need not be appealed.



MINUTES PLANNING COMMISSION MEETING August 16, 2022

The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Darrin MROZ (Chair)
Rebecca POLLACK-RUDE (Vice Chair)
Paul CIRCO
Anthony SOTTILE
Elizabeth VALLES

COMMISSIONERS ABSENT: None

STAFF PRESENT: Noah ALVEY, Deputy Director of Community Development
Barbara LUCK, Staff Attorney
Mario SANCHEZ, Deputy Director of Public Works
Spencer HAYES, Associate Planner
Laura JUSZAK, Administrative Secretary

Chair MROZ opened the Planning Commission meeting explaining the rules of conduct.

PUBLIC COMMENT:

Sherry ASHBAUGH spoke to commissioners regarding City's landscaping requirements.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of July 19, 2022

Motion was made by CIRCO, seconded by POLLACK-RUDE, to approve the July 19, 2022 minutes; motion carried 5-0.

PUBLIC HEARING ITEM:

Agenda Item:	2
Project Name:	Lexus El Cajon
Request:	Lexus dealership addition and remodel
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number(s):	Conditional Use Permit No. 2022-0001 (CUP-2022-0001)
Location:	1000 Arnele Avenue
Applicant:	Erik Marcussen; Ground Floor Design, Inc.; erik@groundfloordesign.com
Project Planner:	Spencer Hayes; shayes@elcajon.gov; 619-441-1656
City Council Hearing Required?	No
Recommended Actions:	1. Conduct the continued public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2022-0001, subject to conditions.

HAYES summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with HAYES providing answers.

MROZ opened the public hearing.

Motion was made by VALLES, seconded by CIRCO, to close the public hearing; motion carried 5-0.

COMMISSIONERS discussed the item.

Motion was made by CIRCO, seconded by MROZ, to approve Conditional Use Permit No. 2022-0001; motion carried 5-0.

OTHER ITEMS FOR CONSIDERATION

There were none.

STAFF COMMUNICATIONS:

ALVEY notified COMMISSIONERS that TPM-2021-0004 was appealed to City Council.

COMMISSIONER REPORTS/COMMENTS:

There were none.

ADJOURNMENT:

Motion was made by MROZ, seconded by POLLACK-RUDE, to adjourn the meeting of the El Cajon Planning Commission at 7:17 p.m. this 16th day of August, 2022, until 7:00 p.m., Tuesday, September 6, 2022; motion carried 5-0.

DRAFT

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

DRAFT



Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2
Project Name:	Shadow Mountain Athletic Field Improvements
Request:	Replacement bleachers and field netting
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Minor Amendment (MA) No. 2022-0008
Location:	2100 Greenfield Drive
Applicant:	Trev Holman; trev.holman@shadowmountain.org
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and MA-2022-0008 to Specific Plan No. 523 subject to conditions.

PROJECT DESCRIPTION

The proposed project is for improvements to the existing baseball field at Shadow Mountain Community Church ("SMCC") to include replacement of the existing metal bleachers with new metal bleachers and new netting behind home plate. The SMCC campus is located at the corner of East Madison Avenue and Greenfield Drive and addressed as 2100 Greenfield Drive. The baseball field is located in the southeast corner of the property. The proposed project requires a Minor Amendment to Specific Plan No. 523 governing the SMCC campus.

BACKGROUND

On April 20, 2021, the Planning Commission considered and approved a project at the same baseball field that is the subject of the current request. The April 20, 2021 project approval was for the replacement of the existing metal bleachers, including a structure around the bleachers finished in stucco, new netting behind home plate, and an arched entry feature. The current request requires review and approval by the Planning Commission because the new architectural concept is not consistent with the previously approved project.

General Plan:	Parochial School and School Playground/Field
Specific Plan:	Specific Plan No. 523
Zone:	RS-20 (Single-Family Residential, Minimum 20,000 square foot lots)
Other City Plan(s):	Specific Plan No. 523

Project Site & Constraints

The SMCC Campus consists of an east and west campus separated by Greenfield Drive. The project site is located on the east campus, which is approximately 32.3 acres and is currently developed with a church and school facilities.

Surrounding Context

The subject property is located within a predominately-residential neighborhood. Properties surrounding the site are developed and zoned as follows:

Direction	Zones	Land Uses
North (unincorporated area)	RR	Rural Residential
South	RS-20	Residential
East	RS-20	Residential
West (across Greenfield Drive)	RS-20	SMCC West Campus

General Plan

The project site is designated Parochial School and School Playground/Field in the General Plan. This land use is intended for private school facilities.

Zoning Code

The Shadow Mountain Community Church and school is governed by Specific Plan No. 523, which programs the church campus and school facilities with conditions relating to the use of the properties. The Zoning Code allows minor amendments to approved specific plans to allow for minor changes while ensuring consistency with the original public review process and governing entitlement.

DISCUSSION

Minor Amendment Decision

Typically, a Minor Amendment is an administrative decision made at the staff level. Prior to the April 20, 2021 Planning Commission hearing, six community responses were received in response to noticing. In accordance with the Minor Amendment Policy, the project was then elevated to the Planning Commission for a decision. The current request has also been elevated to the Planning Commission based on the previous community responses.

Land Use

SP No. 523 identifies permitted uses of the East Campus to include education and associated activities; the athletic fields including the baseball field with bleachers are identified on the site plan. The proposed project consisting of replacement bleachers and netting behind home plate is consistent with the approved sports field use in SP No. 523. There are no proposed changes to the operations or use of the sports field. No lights are proposed.

Project

The proposed metal bleachers will replace the existing metal bleachers behind home plate for spectators. The existing bleachers provide seating for approximately 190 spectators and are in poor condition. The proposed bleachers would provide seating for up to 300 spectators. The proposed netting is intended to prevent foul balls from leaving the field.

Design

The metal bleachers, including safety railing, will be approximately 19 ft. 6 in. as measured from the playing field. The base on the bleachers will have fabric wrap which will conceal the base of the bleachers. The fabric wrap is depicted in blue on the proposed elevations, but the applicant has indicated that school related graphics may be included on the final fabric wrap. The new netting behind home plate will be 35 feet in height.

Project Modifications

The original project approval on April 20, 2021 (Attachment 6), included a design that complemented the other existing buildings on site by including a structure around the bleachers finished in stucco, as well as an arched entry. The current request has eliminated these features due to construction costs. Even though the current request (Attachment 7) is less elaborate than the originally approved project, it remains consistent with features found at typical school baseball fields. As such, staff is able to find the project modifications consistent with SP No. 523.

Community Concerns

Attendance at games is not anticipated to increase except for special games, playoffs or league championships. The applicant has indicated that baseball games are held a few times per week, Monday through Friday at 4:00 p.m. and on Saturday between 9:00 a.m. and 1:00 p.m. Attendance at games is typically 75 to 125 individuals. The existing church parking lot is used for parking. Due to the number of attendees, traffic and congestion is not experienced currently during games or expected after completion of this project.

FINDINGS

The findings for the Minor Amendment approval are as follows:

- A. The proposed minor amendment is consistent with the governing entitlement of which the proposed project is governed by, the El Cajon Zoning Code, and applicable regional document(s)*

The proposed project, including the replacement bleachers and field netting, is consistent with Specific Plan No. 523, which identified the baseball field and bleachers on the site plan and specifies that religious and education uses and associated activities are permitted uses on the site.

- B. The proposed change does not alter the initial findings to approve the permit.*

The proposed project does not alter the original findings to approve the permit. The continued use of this area as the site for a baseball field was part of the original approvals. The operations of the baseball field would not be changed as a result of the project.

- C. *The proposed minor amendment is consistent with the findings contained in the adopting specific plan ordinance.*

Specific Plan No. 523 was adopted in order to provide a comprehensive master plan for the religious and educational facilities at Shadow Mountain Community Church. The Minor Amendment requested to make specific athletic field improvements to enhance the enjoyment of the fields by visitors by providing appropriate seating and enhance safety by adding new netting around home plate is consistent with the findings in the approved Specific Plan.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) according to section 15303, Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. Section 15303 provides an exemption for a project that involves the construction of a limited number of new, small facilities or structures including accessory or appurtenant structures. The proposed replacement bleachers, netting, and entryway feature are small accessory structures to the primary use of this area for sports field associated with the educational use. None of the exceptions listed under CEQA Guidelines section 15300.2 apply.


PUBLIC NOTICE & INPUT

Notice of this public hearing was mailed on September 1, 2022, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website.

RECOMMENDATION


Staff is recommending approval of MA No. 2021-0001 for the athletic field improvements.

PREPARED BY:



Noah Alvey
DEPUTY DIRECTOR
OF COMMUNITY
DEVELOPMENT

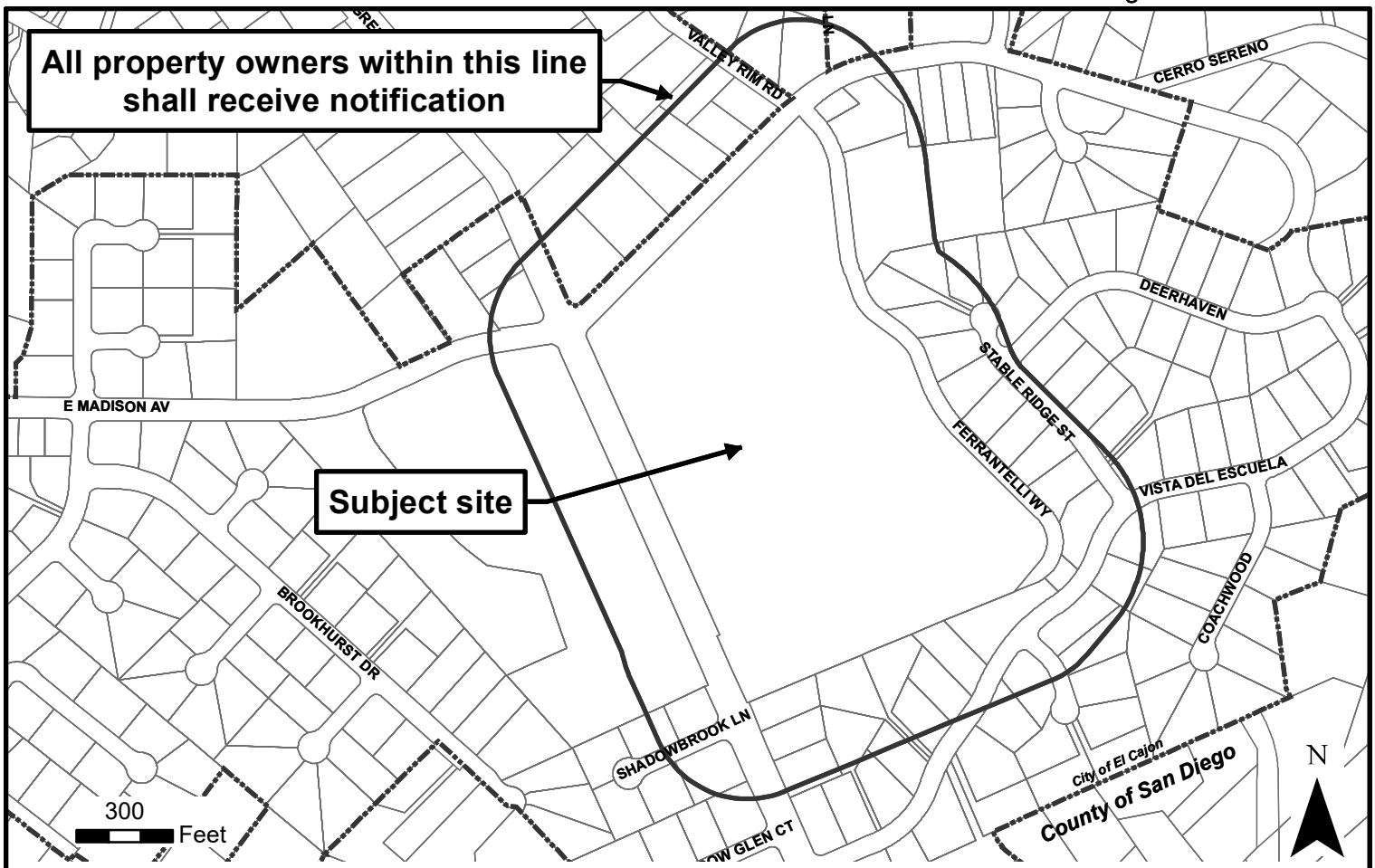
APPROVED BY:



Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution APPROVING CEQA exemption
3. Proposed Resolution APPROVING MA No. 2021-0001
4. Aerial Photograph of Subject Site
5. Application & Disclosure Statement
6. April 20, 2021 Project Elevations
7. September 20, 2022 Project Elevations and Plans



**NOTICE OF PROPOSED
MINOR AMENDMENT TO SPECIFIC PLAN
SHADOW MOUNTAIN ATHLETIC FIELD IMPROVEMENTS**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, September 20, 2022** in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

MINOR AMENDMENT NO. 2022-0008 as submitted by Trev Holman on behalf of Shadow Mountain Community Church requesting to permit modifications to the existing athletic field to replace the existing metal spectator stands with larger new metal spectator stands, add new netting, and add new concrete stairs. The subject property is located at the corner of Greenfield Drive and East Madison Avenue and is addressed as 2100 Greenfield Drive. This project has been elevated to a Planning Commission decision and is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.elcajon.gov/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **NOAH ALVEY** at 619-441-1795 or via email at nalvey@elcajon.gov and reference "MA-2022-0008" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR MINOR AMENDMENT NO. 2022-0008 TO SPECIFIC PLAN NO. 523 FOR ATHLETIC FIELD IMPROVEMENTS AT SHADOW MOUNTAIN COMMUNITY CHURCH ON THE SOUTHEAST CORNER OF EAST MADISON AVENUE AND GREENFIELD DRIVE IN THE RS-20 ZONE; APN: 512-140-05, GENERAL PLAN DESIGNATION: PAROCHIAL SCHOOL (P) AND SCHOOL PLAYGROUND/PLAYFIELD (SP/P)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on September 20, 2022, to consider Minor Amendment (MA) No. 2028-0008, as submitted by Trev Holman on behalf of Shadow Mountain Community Church, requesting replacement bleachers and baseball netting at the baseball field in the RS-20 zone, on the southeast corner of East Madison Avenue and Greenfield Drive, and addressed as 2100 Greenfield Drive, APN: 512-140-05; and

WHEREAS, in accordance with CEQA Guidelines section 150061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, it is proposed that the project is exempt from CEQA under section 15303, Class 3 (New Construction or Conversion of Small Structures) of CEQA Guidelines, which provides an exemption for a project that involves the construction of a limited number of new, small facilities or structures including accessory or appurtenant structures; and

WHEREAS, the proposed replacement bleachers and netting are small accessory structures to the primary use of this area for sports field associated with the educational use; and

WHEREAS, none of the exemptions listed under CEQA Guidelines section 15300.2 exist; and

WHEREAS, the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed CEQA exemption for the Shadow Mountain Athletic Field Improvements, Minor Amendment No. 2022-0008 to Specific Plan No. 523.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the CEQA exemption.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held September 20, 2022, by the following vote:

AYES:
NOES:
ABSENT:

ATTEST:

Darrin MROZ, Chair

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING MINOR AMENDMENT NO. 2022-0008 TO SPECIFIC PLAN NO. 523 FOR ATHLETIC FIELD IMPROVEMENTS AT SHADOW MOUNTAIN COMMUNITY CHURCH ON THE SOUTHEAST CORNER OF EAST MADISON AVENUE AND GREENFIELD DRIVE IN THE RS-20 ZONE, APN: 512-140-05, GENERAL PLAN DESIGNATION: PAROCHIAL SCHOOL (P) AND SCHOOL PLAYGROUND/PLAYFIELD (SP/P)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on September 20, 2022, to consider Minor Amendment (MA) No. 2022-0008, as submitted by Trev Holman on behalf of Shadow Mountain Community Church, requesting replacement bleachers and baseball netting at the baseball field in the RS-20 zone, on the southeast corner of East Madison Avenue and Greenfield Drive, and addressed as 2100 Greenfield Drive, APN: 512-140-05; and

WHEREAS, the El Cajon Planning Commission approved the next resolution in order approving the California Environmental Quality Act section 15303 exemption; and

WHEREAS, the proposed project is minor in scope and within the screening criteria for a Minor Amendment; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications, and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The proposed project, including the replacement bleachers and field netting are consistent with Specific Plan No. 523, which identified the baseball field and bleachers on the site plan and specifies that religious and education uses and associated activities are permitted uses on the site.
- B. The proposed project does not alter the original findings to approve the permit. The continued use of this area of the site for a baseball field was part of the original approvals. The operations of the baseball field would not be changed as a result of the project.
- C. Specific Plan No. 523 was adopted in order to provide a comprehensive master plan for the religious and educational facilities at Shadow Mountain Community Church. The Minor Amendment requested to make specific athletic field improvements to enhance the enjoyment of the field by visitors by providing

Proposed Planning Commission Resolution

appropriate seating and enhance safety by adding new netting around home plate is consistent with the findings in the approved Specific Plan.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES MA No. 2022-0008 to Specific Plan No. 523 for athletic field improvements, subject to the conditions of approval for Specific Plan No. 523 and the following conditions:

1. No field lighting, temporary or permanent, is permitted.
2. Any decorative lighting features on the grandstand shall be directed downward, shielded, and shall not spill over onto any adjacent property.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held September, 20, 2022, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

Aerial Image

MA-2022-0008

Shadow Mountain Field Improvements





Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input checked="" type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 512-140-05-00

Address: 2100 Greenfield Drive, El Cajon, CA 92109

Nearest Intersection: Madison Ave and Greenfield Drive

Project Description (or attach separate narrative)

Replace (E) metal stands w/300 seat grandstands (2,490 SQ.FT.), Replace (E) concrete stairs w/new S.F. concrete stairs,

Replace (E) impervious surface around grandstands with brick pavers, install (N) netting around home plate with 35'

support poles, and demo existing scores box (80SF) and replace with 6' CMU screen wall

Project Screening Questions

Existing use? ☐ No ☐ Yes

Modification of use? ☐ No ☐ Yes

New development or addition? ☐ No ☒ Yes

Existing Structures? ☐ No ☒ Yes

If yes, please describe:

(N) Grandstands, (N) pavers, (N) netting, (N) CMU wall

Age of the structures: 60YRS +/-

Demolition or substantial modification proposed to site improvements or structures?	<input type="checkbox"/> No <input checked="" type="checkbox"/> Yes	Demo of existing stands and stairs _____ _____
Tenant improvements proposed?	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	_____
Existing vegetation or trees on site proposed for removal?	<input type="checkbox"/> No <input type="checkbox"/> Yes	Existing trees to remain _____
Proposed grading?	<input type="checkbox"/> No <input type="checkbox"/> Yes	Proposed quantities of cut and/or fill. _____

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: Shadow Mountain Church

Contact Name: Bryan Snow

Mailing Address: 2100 Grenfield Drive, El Cajon, CA 92109

Phone: 610-440-1802 Email: bryan.snow@shadowmountain.org

Interest in Property: ☒ Own ☐ Lease ☐ Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Hubbell and Hubbell Architects

Contact Name: Drew Hubbell License: _____

Mailing Address: 1970 Sixth Ave, San Diego, CA 92101

Phone: 619-231-0446 Email: drew@hubbellandhubbell.com

Property Owner Information (if different than applicant)

Company Name: _____

Contact Name: _____

Mailing Address: _____

Phone: _____ Email: _____

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

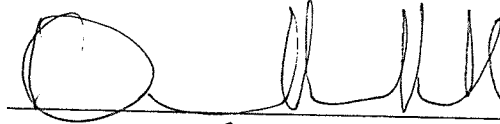
☐ is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

☐ is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

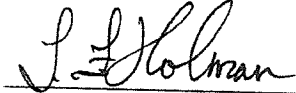
Authorization

Applicant Signature¹:



Date: 7/28/22

Property Owner
Signature²:



Date: 7/28/22

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

Conference date: _____

Application Submittal

To submit your application, it must be done by appointment scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: _____



Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input checked="" type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 512-140-05-00

Address: 2100 GREENFIELD DRIVE EL CAJON, CA 92109

Nearest Intersection: Madison Ave and Greenfield Drive

Project Description (or attach separate narrative)

REPLACE (E) METAL STANDS W/300 SEAT GRANDSTANDS (-SQ.FT). REPLACE (E) CONCRETE STAIRS W/ NEW S.F. CONC. STAIRS. NEW ARCHED ENTRY (-SQ.FT).

Project Screening Questions

Existing use?	<input type="checkbox"/> No	<input type="checkbox"/> Yes	If yes, please describe: <hr/> <hr/> (N) GRANDSTANDS (N) ARCHED ENTRY Age of the structures: 60YRS +/-
Modification of use?	<input type="checkbox"/> No	<input type="checkbox"/> Yes	
New development or addition?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	
Existing Structures?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	

Demolition or substantial
modification proposed to site
improvements or structures? ☐ No ☐ Yes
Tenant improvements proposed? ☐ No ☐ Yes
Existing vegetation or trees on site
proposed for removal? ☒ No ☐ Yes
Proposed grading? ☐ No ☒ Yes

DEMO EXISTING STANDS W/ REPLACE W/ NEW STANDS, DEMO EXISTING CONCRETE STAIR

EXISTING TREES TO REMAIN

Proposed quantities of cut and/or fill.

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: **SHADOW MOUNTAIN CHURCH**
Contact Name: **---**
Mailing Address: **--**
Phone: **--** Email: **--**
Interest in Property: ☒ Own ☐ Lease ☒ Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: **HUBBELL AND HUBBELL ARCHITECTS**
Contact Name: **DREW HUBBELL** License: **---**
Mailing Address: **1970 SIXTH AVE SAN DIEGO, CA 92101**
Phone: **619-231-0446** Email: **DREW @HUBBELLANDHUBBELL.COM**

Property Owner Information (if different than applicant)

Company Name: **---**
Contact Name: **---**
Mailing Address: **---**
Phone: **---** Email: **---**

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

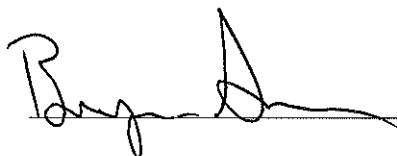
☐ is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

☐ is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:



Date: 1-7-2021

Property Owner
Signature²:

Date: _____

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

Conference date: WAIVED

Application Submittal

To submit your application, it **must be done by appointment** scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: _____



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

N/A

List the names and address of all persons having any ownership interest in the property involved.

SHADOW MOUNTAIN COMMUNITY CHURCH, INC.

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

N/A


3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

N/A

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X

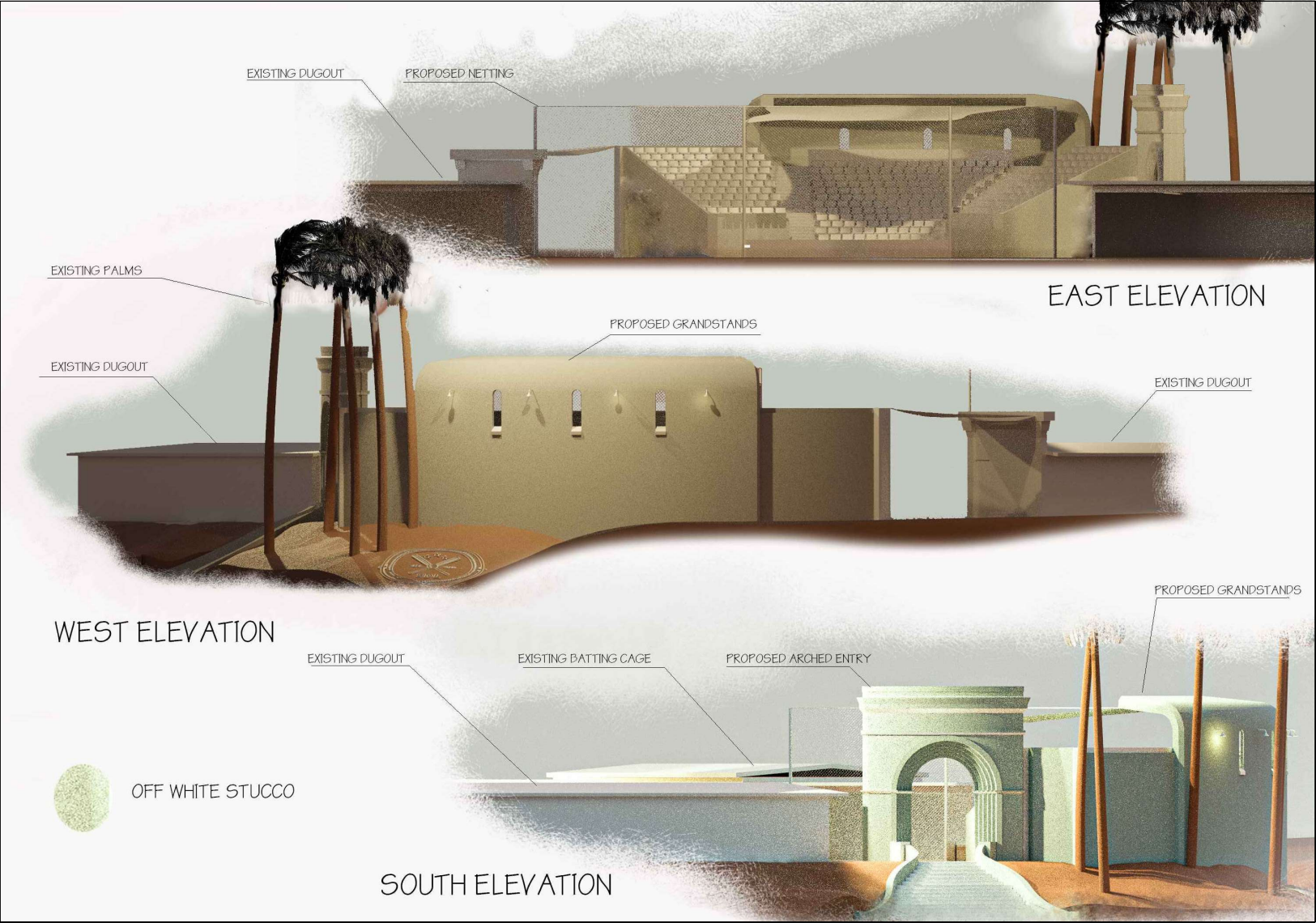
If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.

 12-22-2020
Signature of applicant / date Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

ELEVATION NOTES
PROPOSED EXTERIOR FINISH FOR PROPOSED STRUCTURES IS OFF-WHITE STUCCO TO MATCH EXISTING BUILDINGS. THE PROPOSED ENTRY ARCH CONSISTS OF STRUCTURAL STEEL SUB-FRAME WHICH IS FINISHED WITH A STUCCO LAYER. THE PROPOSED GRANDSTANDS CONSIST OF STEEL I-BEAM STRUCTURE FINISHED WITH A STUCCO LAYER. ENTRY STEPS WILL BE COMPOSED OF CONCRETE AND PROPOSED PATIO TO REPLACE EXISTING WILL COMPOSED OF BRICK PAVERS.



PROJECT RENDERINGS

SCALE: NTS



HUBBELL & HUBBELL
1970 State Avenue
San Diego, CA 92101
(619) 231-0446
Fax: (619) 231-0446
Drawn: EMMON
Date: 3/19/21

EXHIBIT	P.C.	C.C.	DATE

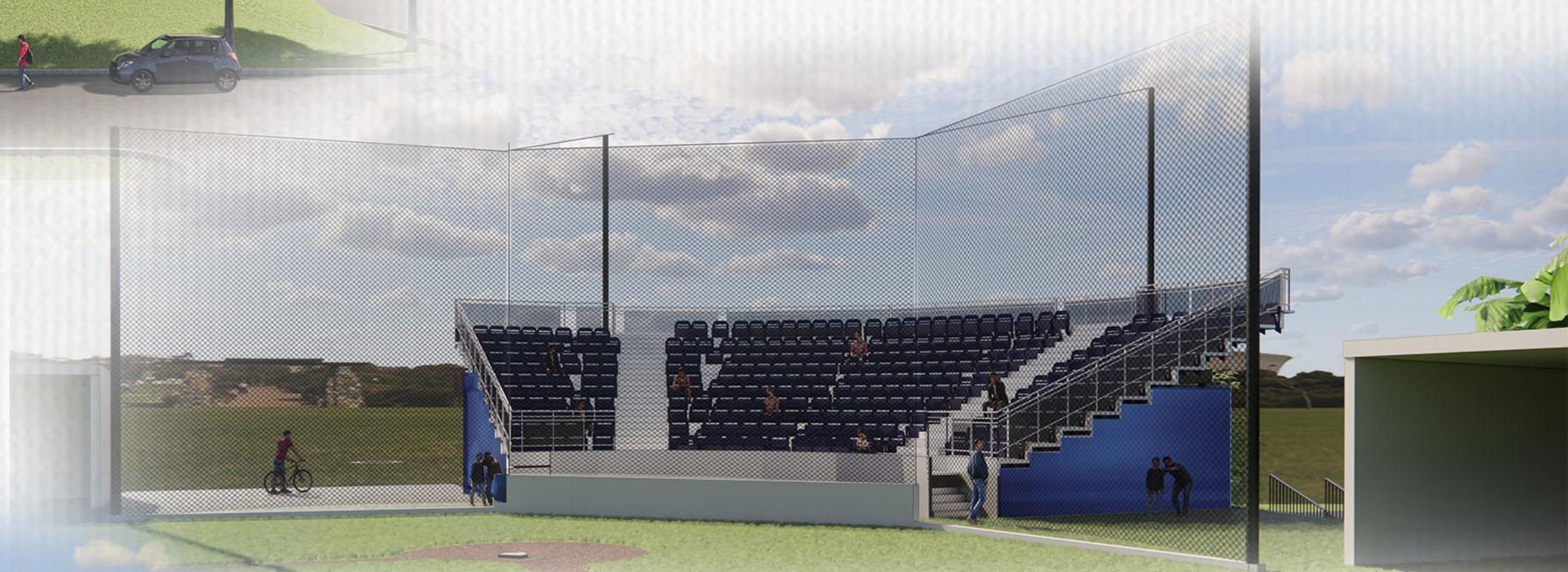
CITY OF EL CAJON	
SPECIFIC PLAN NO. _____	
PLANNING COMMISSION	DATE
CITY COUNCIL	DATE
ORDINANCE NO. _____	
A2	

SHADOW MOUNTAIN BALLFIELD

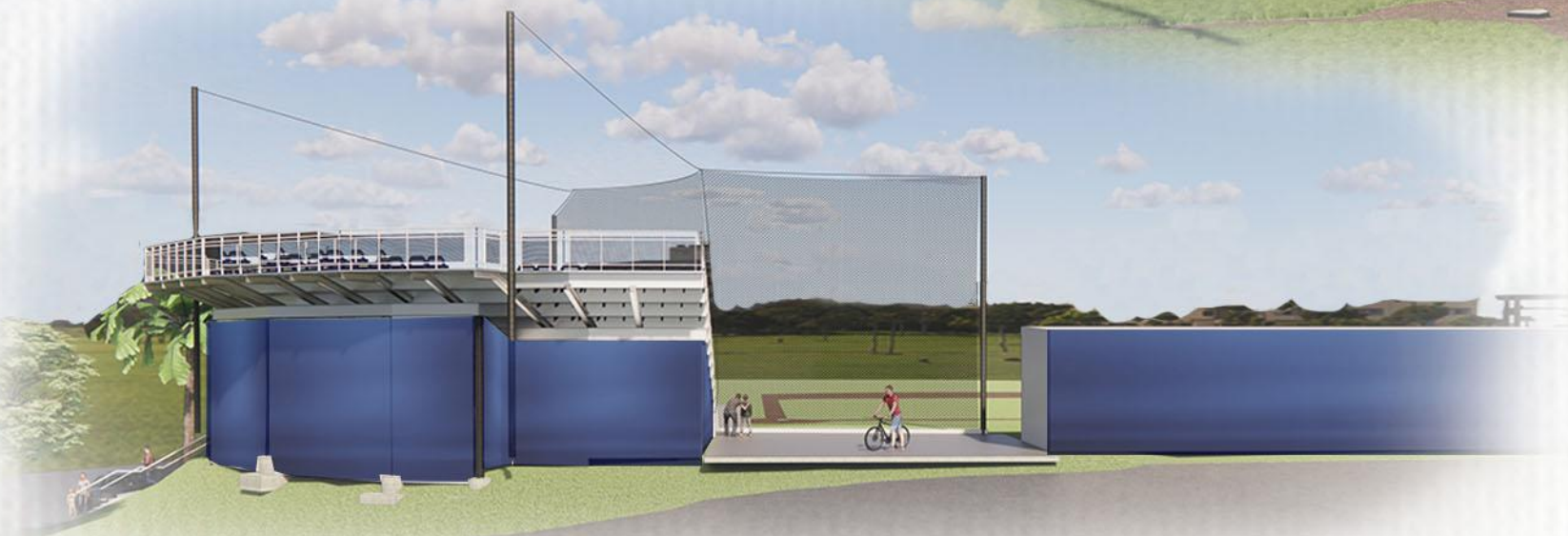
September 20, 2022 Project
Elevations and Plans



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



SHADOW MOUNTAIN BALLPARK

2100 GREENFIELD DRIVE
EL CAJON, CA 92109

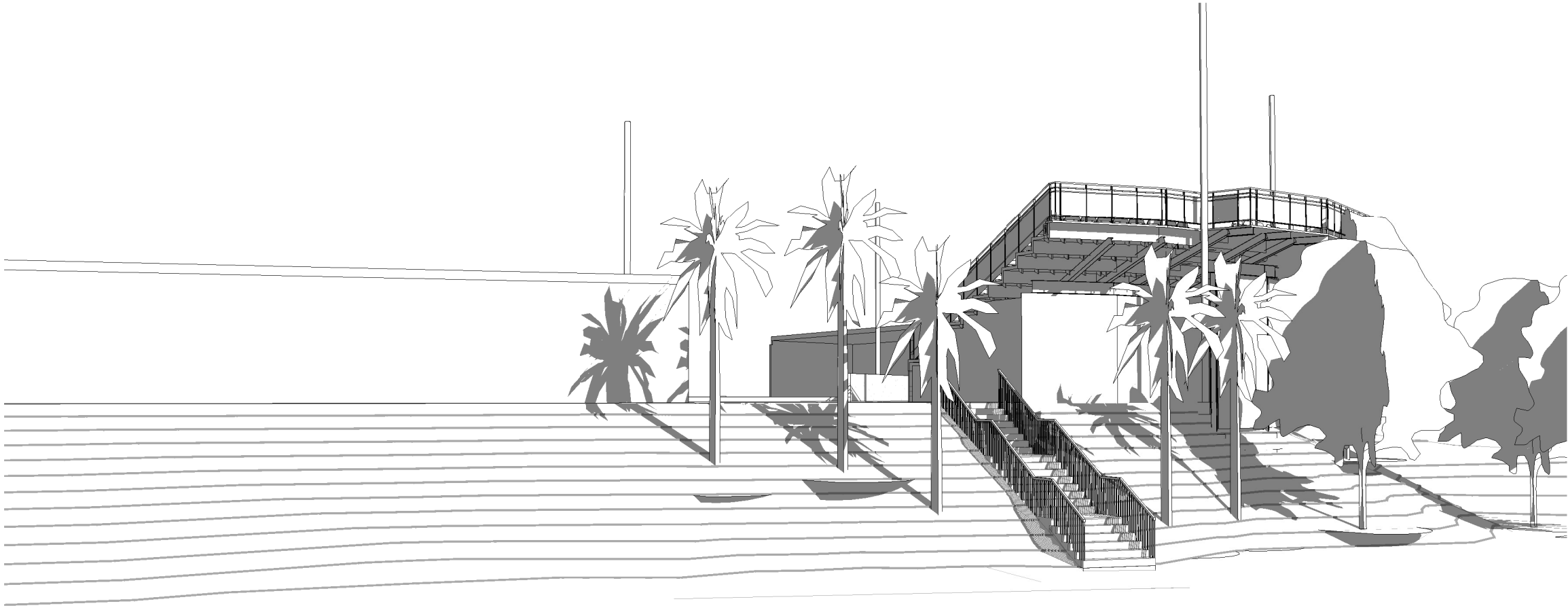
7/27/2022 10:51:53 PM

REV. NO.	DESCRIPTION	DATE
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HUBBELL & HUBBELL

1970 SIXTH AVE
SAN DIEGO, CA 92101
(619)-231-0446

TS



SHADOW MOUNTAIN BALLPARK

TYPICAL ABBREVIATIONS

AB	ANCHOR BOLT	FDN	FOUNDATION	NIC	NOT IN CONTRACT	SC	SOLID CORE
AFF	ABOVE FLOOR FINISH	FN	FINISHED	NOM	NORMAL	S CONC	SEALED CONCRETE
ALT	ALTERNATE	FLR	FLOOR	NON-COM	NON-COMBUSTIBLE	SD	STORM DRAIN
AL	ALUMINUM	FLU	FLUORESCENT	NTS	NOT TO SCALE	SECT	SECTION
AN	ANODIZED	FP	FIREPROOF	OC	ON CENTER	SIM	SIMILAR
ARCH	ARCHITECT	FURR	FURRING	OD	OVERFLOW DRAIN	S N D	SANITARY NAPKIN DISPENSER
AT	ACOUSTICAL TILE	GAL	GALVE/GAGE	OH	OUTSIDE DIAMETER	S N DPL	SANITARY NAPKIN DISPOSAL
BD	BOARD	GALVNB	GALVANIZED	OPNG	OPENING	SPEC	SPECIFICATIONS
BFC	BELOW FINISHED CEILING	GC	GENERAL CONTRACTOR	OPP	OPPOSITE	SS	STAINLESS STEEL
BLDG	BUILDING	GI	GALVANIZED IRON	OVHD	OVERHEAD	S & P	SHELF AND POLE
BLK	BLOCK	GL	GLASS	P	PARKING	S/S	SERVICE SINK
BLKG	BLOCKING	GMMU	GLASS MESH MORTAR UNIT	P.A.	PLANTING AREA	STD	STANDARD
BM	BEAM	GR	GRADE	PART	PARTITION	STL	STEEL
BOT	BOTTOM	HDOP	HANDICAPPED	PART BD	PARTICLE BOARD	STRUC	STRUCTURAL
BTWN	BETWEEN	HOW	HOLLOW METAL	PC	PRECAST CONCRETE	SUSP	SUSPENDED
BUR	BUILT-UP ROOF	HORIZ	HORIZONTAL	PIP	POURED IN PLACE	T	TREAD
CB	CONCRETE BLOCK	HR	HOUR	PL	PLATE	T & B	TOP & BOTTOM
CHAN	CHANNEL	HT	HEIGHT	P LAM	PLASTIC LAMINATE	T & G	TONGUE & GROOVE
CI	CAST IRON	HVAC	HEATING, VENT, AIR COND.	PLYWD	PLYWOOD	TEL	TELEPHONE
CL	CEILING	HWH	HOT WATER HEATER	PNL	PANEL	TEMP	TEMPERED
CLG	CORRUGATED METAL PIPE	ID	INSIDE DIAMETER	PR	PAIR	TD	TRASH DISPOSAL
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION OR INSULATING	PSF	POUNDS PER SQUARE FEET	TJ	TOOLED JOINT
COL	COLUMN	INT	INTERIOR	PSI	POUNDS PER SQUARE INCHES	TLT	TOILET
CONC	CONCRETE	INV	INVERT	PT	POST TENSIONED	TOC	TOP OF CONCRETE
CONST	CONSTRUCTION	JAN	JANITOR	QT	QUARRY TILE	TOM	TOP OF MASONRY
CONTR	CONTRACTOR	JST	JOIST	R	RISER OR RADIUS	TOS	TOP OF STEEL
CPT/C	CARPET	JO	JOINT	RA	RUBBER BASE	TOW	TOP OF WALL
CT	CERAMIC TILE	KO	KNOCKOUT	RB	RETURN AIR	TOW D	TOWEL DISPENSER
DBL	DOUBLE	LAM	LAMINATED	RD	ROOF DRAIN	TOW DPL	TOWEL DISPOSAL
DET	DETAIL	LAV	LAVATORY	RE	REFER/REFERENCE	TRANSF	TRANSFORMER
DM	DIMENSION	LH	LEFT HAND	REFL	REFLECTED OR REFLECTIVE	TYP	TYPICAL
DR	DOOR	LL	LIVE LOAD	REINF	REINFORCING	VAT	VINYL ASBESTOS TILE
DWG	DRAWING	LWC	LIGHT WEIGHT CONCRETE	REQD	REQUIRED	VB	VAPOR BARRIER
E	EXISTING	MAS	MASONRY	RET	RETAINING	VERT	VERTICAL
EA	EACH	MATL	MATERIAL	REV	REVISION, REVISED	VIF	VERIFY IN FIELD
EJ	EXPANSION JOINT	MAX	MAXIMUM	RF	RAISED FLOOR	VWC	VINYL WALL COVERING
EL	ELEVATION	MECH	MECHANICAL	RM	ROOM	W	WITH
ELEC	ELECTRICAL	MFR	MANUFACTURER	RO	ROUGH OPENING	WO	WITHOUT
EQ	EQUAL	MH	MANHOLE	ROW	RIGHT OF WAY	WC	WATER CLOSET
EQUIP	EQUIPMENT	MN	MINIMUM	R T DPL	RECESSED TRASH DISPOSAL	WD	WOOD
EXP	EXPANSION	MISC	MISCELLANEOUS	R TOW D	RECESSED TOWEL DISPENSER	WF	WALL FABRIC
EXT	EXTERIOR	MO	MASONRY OPENING	SAC	SUSPENDED ACOUSTIC CEILING	WP	WATERPROOFING
FD	FLOOR DRAIN	M	METAL	SAT	SUSPENDED ACOUSTIC TILE	WNDW	WINDOW
		N	NORTH	SB	SPLASHBLOCK	WWF	WELDED WIRE FABRIC

PROJECT DIRECTORY

OWNER CONTACT	GRANDSTAND CONSULTANT
SHADOW MOUNTAIN COMMUNITY CHURCH 2100 GREENFIELD DRIVE EL CAJON, CA 92109 619-440-1802	JOE HOY SOUTHERN BLEACHER COMPANY PO BOX ONE, GRAHAM, TEXAS 76450 810 FIFTH STREET
ARCHITECT	NETTING CONSULTANT
DREW HUBBELL HUBBELL AND HUBBELL ARCHITECTS 1979 6TH AVENUE, SAN DIEGO, CA 92101 619.231.0446	DAN KIRKLAND WEST COAST NETTING DKIRKLAND@WESTCOASTNETTING.COM 800.854.5741
STRUCTURAL ENGINEER	CONTRACTOR
LIANNE BELL PATTERSON ENGINEERING 928 FORT STOCKTON DR #201, SAN DIEGO, CA 92103	

BUILDING DEPARTMENT INFORMATION

PROJECT ADDRESS:	2100 GREENFIELD DRIVE EL CAJON, CA 92109	SETBACKS	TS G1 G2 G3 SP SP2 A1.1 A2.1 A2.2 N1 B1 B2 B3 B3.1 B4 B5 B6 B7 B8 B9 B10 B11 B12 B13 B13.1
APN:	512-140-05-00	FRONT YARD SETBACK:	20'
BUILDING OWNER	SHADOW MOUNTAIN COMMUNITY CHURCH	INTERIOR SIDEYARD SETBACK:	12'
LEGAL DESCRIPTION	BLK 34*LOTS 2 THRU 4*(EX ST)DOC73-53161 IN ST CLSD ADJ&IN	EXTERIOR SIDEYARD SETBACK:	
SCOPE OF WORK	1. REPLACE EXISTING METAL STANDS STANDS WITH NEW FIXED 300 SEAT CAPACITY 2,490 SF GRANDSTANDS. 2. REPLACE EXISTING IMPERVIOUS SURFACE AROUND STANDS WITH PERMEABLE BRICK PAVERS 3. INSTALL NEW NETTING AROUND HOME PLATE WITH SUPPORT POLES 4. DEMO EXISTING SCORES BOX (80 SF) AND REPLACE W/ 2' CMU SCREEN WALL	REAR YARD SET BACK:	25'
	NOTE: NO CHANGES TO EXISTING BASEBALL FIELD		
	*PLANS FOLW PREVIOUSLY APPROVED PERMIT #MA-2021-0001		
GOVERNING CODES USED IN DESIGN:	2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 CALIFORNIA ELECTRIC CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS COUNTY OF SAN DIEGO ORDINANCES.		
BUILDING TYPE:	IV		
OVERLAY ZONE :	GENERAL PLAN LAND USE: SP/P		
COMMUNITY PLAN:	CITY OF EL CAJON		
GENERAL PLAN DESIGNATION:	RANCHO EL CAJON S.		
REGIONAL CATEGORY:			
MAX. ALLOWABLE BLDG. HT:	35'		
FIRE SPRINKLERS:	N/A		

SYMBOLS

	PLAN NORTH		REVISION TAG
	ELEVATION TAG		KEYNOTE TAG
	CENTER LINE		DOOR TAG
	SECTION HEAD		GRID BUBBLE
	WINDOW TAG		
	OVER HEAD WINDOW TAG		

SPECIAL INSPECTION

SPECIAL INSPECTION	<input type="checkbox"/> YES
	<input checked="" type="checkbox"/> NO

*SEE SHEET S1 FOR SPECIAL INSPECTION REQUIRED.

OFF-SITE FABRICATION	<input checked="" type="checkbox"/> YES
	<input type="checkbox"/> NO

STRUCTURAL OBSERVATION

DEFERRED SUBMITTAL

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

VICINITY MAP



COUNTY OF SAN DIEGO - MINIMUM CONSTRUCTION SPECIFICATIONS

A. General
Applicable codes. All projects shall comply with the *2019 California Building Code (CBC)* and/or *California Residential Code (CRC)*, *2019 California Green Building Standards Code (CALGreen)*, *2019 California Electrical Code (CEC)*, *2019 California Mechanical Code (CMC)*, *2019 California Plumbing Code (CPC)*, *2019 California Fire Code (CFC)*, *2019 California Energy Efficiency Standards (CBEES)*, and all County of San Diego amendments.

A. Electrical, Plumbing, and Mechanical

- Exterior lighting.** All projects shall comply with the County of San Diego Lighting Ordinance (LD 10.0).
 - GFCI outlets.** Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen countertops, at laundry and wet bar sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. (CEC 210.8)
 - AFCI outlets.** Electrical circuits in bedrooms, living rooms, dining rooms, dens, closets, hallways, or similar rooms must be protected by Arc Fault Circuit Interrupters (AFCI). (CEC 210.12)
 - Luminaire requirements.** Installed luminaires shall meet the efficacy and fixture requirements of CBEES 150.0(k).
 - Smoke detectors in building remodels.** Smoke detectors are required in each existing sleeping room, outside each separate sleeping area in the immediate vicinity of sleeping rooms, and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R403.4)
 - Carbon monoxide detectors in building remodels.** Carbon monoxide detectors are required outside each separate sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R315.3)
 - Water heater seismic strapping.** Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 14-inch-by-3-inch lag bolts attached directly to framing. Straps shall be at points within upper third and lower third of water heater. Lower connection shall occur minimum 4 inches above controls. (CPC 507.2)
 - Gas appliances in garages.** Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch-high platform unless listing report number provided showing ignition-resistant. (CPC 507.13 and CMC 305.1)
 - Impact protection of appliances.** Water heaters and heating/cooling equipment subject to vehicular impact shall be protected by bollards or an equivalent measure. (CPC 507.13.1 and CMC 305.1.1)
 - Water closet clearance.** Minimum 30-inch-wide by 24-inch-deep clearance required at front of water closet. (CRC R602.10.1)
 - Shower size.** Shower compartments shall have minimum area of 1024 square inches and be able to encompass a 30-inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. (CPC 408.5 and CPC 408.6)
 - Fireplace appliances.** Fireplaces with gas appliances are required to have the flue damper permanently fixed in the open position and fireplaces with LPG appliances are to have no 'pit' or 'rump' configurations. (CMC 303.7.1)
 - Chimney clearance.** Minimum 2-foot chimney clearance required above building within 10-foot horizontal of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC R1003.9)
- C. Mechanical Ventilation and Indoor Air Quality (ASHRAE 62.2-2010)**
- Transfer air.** Ventilation air shall be provided directly from the outdoors and not be transferred from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned attics. (CBEES 150.0(o))
 - Instructions and labeling.** Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to operate the system. (CBEES 150.0(o))
 - Combustion and solid-fuel burning appliances.** Combustion appliances shall be properly vented and air systems shall be designed to prevent back drafting. (CBEES 150.0(o))
 - Garages.** The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of no more than 6% of total air flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. (CBEES 150.0(o))
 - Minimum filtration.** Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or 50.0 microns. (CBEES 150.0(o))
 - Air inlets.** Air inlets (not exhaust) shall be located away from known contaminants. (CBEES 150.0(o))
 - Air moving equipment.** Air moving equipment used to meet either the whole-building ventilation requirement or the local ventilation exhaust requirement shall be rated in terms of airflow and sound. (CBEES 150.0(o))
 - All continuously operating fans shall be rated at a maximum of 1.0 sone.
 - Intermittently operated whole-building ventilation fans shall be rated at a maximum of 1.0 sone.
 - Intermittently operated local exhaust fans shall be rated at maximum of 3.0 sone.
 - Remotely located air-moving equipment (mounted outside of habitable spaces) need not meet sound requirements if at least 4 feet of ductwork between fan and intake grill.
- D. Foundation and Underfloor**
- Foundation reinforcement.** Continuous footings and stem walls shall be provided with a minimum two longitudinal No. 4 bars, one at the top and one at the bottom of the footing. (CRC R403.1.3)
 - Shear wall foundation support.** Shear walls shall be supported by continuous foundations. (CRC 403.1.2)
 - Concrete slabs-on-grade.** Slabs-on-grade shall be minimum 3-1/2 inches thick. (CRC R506.1)
 - Vapor retarder.** A 6-mil polyethylene or approved vapor retarder with joints lapped minimum 6 inches shall be placed between a concrete slab-on-grade and the base course or subgrade. (CRC 506.2.3)
 - Anchor bolts and sills.** Foundation plates or sills shall be bolted or anchored to the foundation or foundation wall per the following (CRC R403.1.6 and CRC R602.11.1):
 - Minimum 1/2-inch-diameter steel bolts
 - Bolts embedded at least 7 inches into concrete or masonry
 - Bolts spaced maximum 6 feet on center
 - Minimum two bolts per plate/sill piece with one bolt located maximum 12 inches and minimum 7 bolt diameters from each end of each plate/sill piece
 - Minimum 3-inch by 3-inch by 0.29-inch steel plate washer between sill and nut on each bolt
 - Hold-downs.** All hold-downs must be tied in place prior to foundation installation.
- Protection of wood against decay.** Naturally durable or preservative-treated wood shall be provided in the following locations (CRC R317.1):
- All wood in contact with ground, embedded in concrete in direct contact with ground, or embedded in concrete exposed to weather
 - Wood joists within 18 inches and wood girders within 12 inches of the exposed ground in crawl spaces and be of naturally durable or preservative-treated wood
 - Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or preservative-treated wood
 - Wood framing, sheathing, and siding on the exterior of the building and having clearance less than 6 inches from the exposed ground or less than 2 inches vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surface exposed to weather
 - Sills and sleepers on concrete or masonry slab in direct contact with ground unless separated from such slab by impervious moisture barrier

- D. Foundation and Underfloor (Continued)**
- Ends of wood girders entering masonry or concrete walls with clearances less than 1/2 inch on tops, sides, and ends
 - Wood structural members supporting moisture-permeable floors or roofs exposed to weather, such as concrete or masonry slabs, unless separated from such floors or roofs by an impervious moisture barrier
 - Wood turning strips or other wood framing members attached directly to interior of exterior concrete or masonry walls below grade except where vapor retarder applied between wall and turning strips or framing members
- Underfloor ventilation.** Underfloor areas shall have ventilation openings through foundation walls or exterior walls with minimum three square feet of openings of 1 square foot for each 150 square feet of underfloor area. On such ventilating opening shall be within 3 feet of each corner of the building. (CRC R408.1)

Underfloor access. Underfloor areas shall be provided with a minimum 18-inch by 24-inch access opening. (CRC R408.4)

E. Wood Framing

- Fastener requirements.** The number, size, and spacing of fasteners connecting wood members/elements shall not be less than that set forth in CRC Table R602.3(1). (CRC R502.9, CRC R602.3, and CRC R802.2)
- Stud size, height, and spacing.** The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). (CRC R602.3.1)
- Sill plate.** Studs shall have full bearing on nominal 2-inch-thick or larger sill plate with width at least equal to stud width. (CRC R602.3.4)
- Bearing studs.** Where joists, trusses, or rafters are spaced more than 16 inches apart, the bearing studs below are spaced 24 inches on center. Where such members shall bear within 5 inches of the studs beneath. (CRC R602.3.3)
- Drilling and notching of studs.** Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Studs in nonbearing partitions may be notched to a depth not to exceed 40% of a single stud width. Any stud may be bored or drilled, provided the diameter of the resulting hole is no more than 30% of the stud width, the edge of the hole is no more than 5/8 inch to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior wall or bearing partitions drilled over 40% and up to 60% shall also be doubled with no more than two successive studs bored. (CRC R602.6)
- Top plate.** Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 24 inches. Joints in plates need not occur over studs. Plates shall be minimum nominal 2 inches thick and have width at least equal to width of studs. (CRC R602.3.2)
- Top plate splices.** Top plate splices shall be made with face-nailed with minimum 8 16d nails on each side of splice. (CRC R602.10.8.1)
- Drilling and notching of top plate.** When piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling, or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 0.054-inch-thick shall be fastened across the wall to the plate at each side of the opening with not less than 8 10d nails having a minimum length of 1-1/2 inches at each side or equivalent. The metal tie must extend minimum 6 inches past the opening. (CRC R602.6.1)
- Cripple walls.** Foundation cripple walls shall be framed of studs not less in size than the studs above. Cripple walls more than 4 feet in height shall have studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and bottom plates in accordance with Table R602.3(1), or the cripple walls shall be constructed of solid blocking. Cripple walls shall be supported on continuous foundations. (CRC R602.10.1)
- Wall bracing.** Buildings shall be braced in accordance with the methods allowed per CRC R602.10.2, CRC R602.10.4, and/or CRC R602.10.5.
- Braced wall line spacing.** Spacing between braced wall lines shall not exceed 20 feet or alternate provisions of CRC R602.10.1.3.
- Shear wall cumulative length.** The cumulative length of shear walls within each braced wall location within 3 feet below the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafters framing into the header. Approved hangers shall be used for the header joist-to-trimmer joist connections when the header joist span exceeds 6 feet. Tail joists over 12 inches shall be supported at the header joist framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10)
- Roof framing above shear walls.** Rafters or roof trusses shall be connected to top plates of shear walls with blocking between the rafters or trusses. (CRC R602.10.8)
- Roof diaphragm and fill framing.** Roof plywood shall be continuous under California fill framing.
- Roof diaphragm at ridges.** Minimum 2-inch nominal blocking required for roof diaphragm nailing at ridges.
- Blocking of roof trusses.** Minimum 2-inch nominal blocking required between trusses at ridge lines and at points of bearing at exterior walls.
- Truss clearance.** Minimum 12-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses.
- Drilling, cutting, and notching of roof/rafter framing.** Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth, shall be not longer than one-third the member depth, and shall not be located in the middle one-third of the span. Notches at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into members shall not exceed one-third the member depth. Holes shall not be closer than 2 inches to the top or bottom of the member or to any other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notch. (CRC R502.8.1)
- Exterior landings, decks, balconies, and stairs.** Such elements shall be positively anchored to the primary structure to resist both vertical and lateral loads or shall be designed to resist lateral loads. Anchorage shall not be accomplished by use of toenails or nailing subject to withdrawal. (CRC R311.3)
- Fireblocking.** Fireblocking shall be provided in the following locations (CRC R302.11 and CRC R1003.19):
 - In concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs, as follows:
 - Vertically at the ceiling and floor levels.
 - Horizontally at intervals not exceeding 10 feet
 - At all intersections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
 - In concealed spaces between stair stringers at the top and bottom of the run.
 - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion
 - At chimneys and fireplaces per Item E.49
 - Cornices of a two-family dwelling at the line of dwelling-unit separation
- Fireblocking materials.** Except as otherwise specified in Items E.48 and E.49, fireblocking shall consist of the following materials with the integrity maintained (CRC R302.11.1):
 - Two-inch nominal lumber
 - Two thicknesses of one-inch nominal lumber with broken lap joints.
 - One thickness of 2x3/2-inch wood structural panel with joints backed by 2x3/2-inch wood structural panel
 - One thickness of 3/4-inch particleboard with joints backed by 3/4-inch particleboard
 - 1/2-inch gypsum board
 - 1/4-inch cement-based millboard
- Batts or blankets of mineral or glass fiber of other approved materials installed in such a manner as to be securely retained in place. Batts or blankets of mineral or glass fiber or other approved non-rigid materials shall be permitted for compliance with the 10-foot horizontal fireblocking in walls constructed using parallel rows of studs or staggered studs. Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross-section of the wall cavity to a minimum height of 16 inches measured vertically. When piping, conduit, or similar obstructions are encountered, the insulation shall be packed tightly around the obstruction. Loose-fill insulation material shall not be used as a fireblock unless specifically tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread of fire and hot gases.

E. Wood Framing (Continued)

- Girders.** Girders for single-story construction or girders supporting loads from a single floor shall not be less than 4 inches by 6 inches for spans 6 feet or less, provided that girders are spaced not more than 8 feet on center. Other girders shall be designed to support the loads specified in the CBC. Girder end joints shall occur over supports. When a girder is spliced over a support, an adequate tie shall be provided. The ends of beams or girders supported on masonry or concrete shall have not less than 3 inches of bearing. (CBC 2308.7)
- Ridges, hips, and valleys.** Rafters shall be framed to a ridge board or to each other with a gusset plate as a tie. Ridge boards shall be minimum 1-inch nominal thickness and not less in depth than the cut end of the rafter. At all valley and hips, there shall be a valley or hip rafter not less than 2-inch nominal thickness and not less in depth than the cut end of the rafter. Hip and valley rafters shall be supported at the ridge by a brace to a bearing partition or be designed to carry and distribute the specific load at that point. Where the roof pitch is less than 3:12 slope (25% gradient), structural members that support rafters and ceilings joists, such as ridges, hips, and valleys, shall be designed as beams. (CRC R802.3)
- Ceiling joist and rafter connections.** Ceiling joists and rafters shall be nailed to each other per CRC Table R602.5 (19), and the rafter shall be nailed to the wall top plate in accordance with CRC Table R602.3(1). Ceiling joists shall be continuous or securely joined per CRC Table R602.5 (19) where they meet over interior partitions and are nailed to adjacent rafters to provide a continuous tie across the building when such joists are parallel to rafters. Where ceiling joists are not connected to the rafters at the wall top plate, joists connected higher in the attic shall be installed as rafters. Where ceiling joists are not parallel to rafters, rafter ties shall be installed. Rafter ties shall be minimum 2 inches by 4 inches nominal, installed per CRC Table R602.5 (19), or connections of equivalent capacities shall be provided. Where ceilings joists or rafter ties are not provided, the ridge formed by these rafters shall be supported by a wall or engineer-designed girder. (CRC R802.3.1)
- Ceiling joists lapped.** Ends of ceiling joists shall be lapped minimum 3 inches or butted over bearing partitions or beams and toenailed to the bearing element. Where ceiling joists provide resistance to rafter thrust, lapped joists shall be nailed together per CRC Table R602.3(1) and butted joists shall be tied together. (CRC R802.3.2)
- Collar ties.** Collar ties or ridge straps to resist wind uplift shall be connected in the upper third of the attic space. Collar ties shall be a minimum 1 inch by 4 inches nominal and spaced at maximum 4 feet on center. (CRC R602.3.1)
- Purlins.** Purlins installed to reduce the span of rafters shall be sized not less than the required size of the rafters they support. Purlins shall be continuous and shall be supported by 2-inch-by-4-inch nominal braces installed to bearing walls at a minimum 45-degree slope from horizontal. The braces shall be spaced maximum 4 feet on center with a maximum 8-foot unbraced length. (CRC R802.3)
- Roof/ceiling member bearing.** The ends of each rafter or ceiling joist shall have not less than 1-1/2 inches of bearing on wood or metal and not less than 3 inches of bearing on masonry or concrete. (CRC R802.6)
- Roof/ceiling member lateral support.** Roof framing members and ceiling joists with a nominal depth-thickness ratio exceeding 5:1 shall be provided with lateral support at points of bearing. (CRC R802.8)
- Roof/ceiling bridging.** Rafters and ceiling joists with a nominal depth-thickness ratio exceeding 6:1 shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch wood strip nailed across the rafters or ceiling joists at maximum 8-foot intervals. (CRC R802.8.1)
- Framing of roof/ceiling openings.** Openings in roof and ceiling framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the ceiling joist or rafter. Single trimmer joists may be used to carry a single header joist located within 3 feet below the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafters framing into the header. Approved hangers shall be used for the header joist-to-trimmer joist connections when the header joist span exceeds 6 feet. Tail joists over 12 inches shall be supported at the header joist framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10)
- Roof framing above shear walls.** Rafters or roof trusses shall be connected to top plates of shear walls with blocking between the rafters or trusses. (CRC R602.10.8)
- Roof diaphragm and fill framing.** Roof plywood shall be continuous under California fill framing.
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- Blocking of roof trusses.** Minimum 2-inch nominal blocking required between trusses at ridge lines and at points of bearing at exterior walls.
- Truss clearance.** Minimum 12-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses.
- Drilling, cutting, and notching of roof/rafter framing.** Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth, shall be not longer than one-third the member depth, and shall not be located in the middle one-third of the span. Notches at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into members shall not exceed one-third the member depth. Holes shall not be closer than 2 inches to the top or bottom of the member or to any other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notch. (CRC R502.8.1)
- Exterior landings, decks, balconies, and stairs.** Such elements shall be positively anchored to the primary structure to resist both vertical and lateral loads or shall be designed to resist lateral loads. Anchorage shall not be accomplished by use of toenails or nailing subject to withdrawal. (CRC R311.3)
- Fireblocking.** Fireblocking shall be provided in the following locations (CRC R302.11 and CRC R1003.19):
 - In concealed spaces of stud walls and partitions, including furred spaces, and parallel rows of studs or staggered studs, as follows:
 - Vertically at the ceiling and floor levels.
 - Horizontally at intervals not exceeding 10 feet
 - At all intersections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings.
 - In concealed spaces between stair stringers at the top and bottom of the run.
 - At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion
 - At chimneys and fireplaces per Item E.49
 - Cornices of a two-family dwelling at the line of dwelling-unit separation
- Fireblocking materials.** Except as otherwise specified in Items E.48 and E.49, fireblocking shall consist of the following materials with the integrity maintained (CRC R302.11.1):
 - Two-inch nominal lumber
 - Two thicknesses of one-inch nominal lumber with broken lap joints.
 - One thickness of 2x3/2-inch wood structural panel with joints backed by 2x3/2-inch wood structural panel
 - One thickness of 3/4-inch particleboard with joints backed by 3/4-inch particleboard
 - 1/2-inch gypsum board
 - 1/4-inch cement-based millboard
- Batts or blankets of mineral or glass fiber or other approved materials installed in such a manner as to be securely retained in place. Batts or blankets of mineral or glass fiber or other approved non-rigid materials shall be permitted for compliance with the 10-foot horizontal fireblocking in walls constructed using parallel rows of studs or staggered studs. Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross-section of the wall cavity to a minimum height of 16 inches measured vertically. When piping, conduit, or similar obstructions are encountered, the insulation shall be packed tightly around the obstruction. Loose-fill insulation material shall not be used as a fireblock unless specifically tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread of fire and hot gases.

E. Wood Framing (Continued)

- Fireblocking of chimneys and fireplaces.** All spaces between chimneys and walls and ceilings through which chimneys pass shall be fireblocked with noncombustible material securely fastened in place. The fireblocking of spaces between chimneys and wood joists, beams, or headers shall be self-supporting or be placed on strips of metal or metal lath laid across the spaces between combustible material and the chimney. (CRC R1003.19)
 - Draftstopping.** In combustible construction where there is usable space both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances (CRC R302.12):
 - Ceiling is suspended under the floor framing
 - Floor framing is constructed of truss-type open-web or perforated members
 - Draftstopping materials.** Draftstopping shall not be less than 1/2-inch gypsum board, 3/8-inch wood structural panels, or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of draftstops shall be maintained. (CRC R302.12.1)
 - Combustible insulation clearance.** Combustible insulation shall be separated minimum 3 inches from recessed luminaires, fan motors, and other heat-producing devices. (CRC R302.14)
- F. General Material Specifications**
- Lumber.** All joists, rafters, beams, and posts 2-inches to 4-inches thick shall be No. 2 grade Douglas Fir-Larch or better. All posts and beams 5 inches and greater shall be No. 1 grade Douglas Fir-Larch or better. Studs not more than 8 feet long shall be stud-grade Douglas Fir-Larch or better when supporting not more than one floor, roof, and ceiling. Studs longer than 8 feet shall be No. 2 grade Douglas Fir-Larch or better.
 - Concrete.** Concrete shall have a minimum compressive strength of 2,500 psi at 28 days and shall consist of 1 part cement, 3 parts sand, 4 parts 1-inch maximum size rock, and not more than 7-1/2 gallons of water per sack of cement. (CRC R402.2)
 - Mortar.** Mortar used in construction of masonry walls, foundation walls, and retaining walls shall conform to ASTM C 270 and shall consist of 1 part portland cement, 2-1/4 to 3 parts sand, and 1/4 to 1/2 part hydrated lime. (CBC 2103.2)
 - Grout.** Grout shall conform to ASTM C 476 and shall consist of 1 part portland cement, 1/10 part hydrated lime, 2-1/4 to 3 parts sand, and 1 to 2 parts gravel. Grout shall attain a minimum compressive strength of 2,000 psi at 28 days. (CRC 2103.3)
 - Masonry.** Masonry units shall comply with ASTM C 90 for load-bearing concrete masonry units. (CBC 2103.1)
 - Reinforcing steel.** Reinforcing steel used in construction of reinforced masonry or concrete structures shall be deformed and comply with ASTM A 615. (CRC 2103.4)
 - Structural steel.** Steel used as structural shapes such as wide-flange sections, channels, plates, and angles shall comply with ASTM A36. Pipe columns shall comply with ASTM A53. Structural tubes shall comply with ASTM A500, Grade B.
 - Fasteners for preservative-treated wood.** Fasteners for preservative-treated and fire-retardant-treated wood - including nuts and washers - shall be hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.1)

Exception: 1/2-inch diameter or greater steel bolts.
 - Fasteners for fire-retardant-treated wood.** Fasteners for fire-retardant-treated wood used in exterior applications or wet or damp locations shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.3)
- G. Roofing and Weatherproofing**
- Roof covering.** All roof covering shall be installed per applicable requirements of CBC 1507. Roof coverings shall be at least Class A rated in accordance with ASTM E 108 or UL 790. (County Building Code 92.1.1505.1)
 - Roof flashing.** Flashing shall be installed at wall and roof intersections, at gutters, wherever there is a change in roof slope or direction, and around roof openings. Where flashing is of metal, the metal shall be corrosion-resistant with a thickness of not less than 0.019 inch (No. 26 galvanized sheet). (CRC R903.2.1)
 - Cricket and saddles.** A cricket or saddle shall be installed on the ridge side of any chimney or penetration more than 30 inches wide as measured perpendicular to the slope. Cricket or saddle covering shall be sheet metal or the same material as the roof covering. (CRC R903.2.2)
 - Water-resistive barrier.** A minimum of one layer of No. 15 asphalt felt shall be located in the middle one-third of the exterior walls. Such barrier shall be applied horizontally, with the upper layer lapped over the lower layer minimum 2 inches. Where joints occur, the felt shall be lapped minimum 6 inches. The felt shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to maintain a weather-resistant exterior wall envelope. (CRC R703.2)
 - Wall flashing.** Approved corrosion-resistant flashing shall be applied shingle fashion at the following locations to prevent entry of water into the wall cavity or penetration of water to the building structural framing components (CRC R703.2):
 - Exterior door and window openings, extending to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage.
 - At the intersection of chimneys or other masonry construction with frame or stucco walls, with projecting joists on both sides under stucco copings.
 - Under and at the ends of masonry, wood, and metal copings and sills.
 - Continuously above all projecting wood trim.
 - Where exterior porches, decks, or stairs attach to a wall or floor assembly of wood-frame construction.
 - At wall and roof intersections.
 - At built-in gutters.
 - Dampproofing.** Dampproofing materials for foundation walls enclosing usable space below grade shall be installed on the exterior surface of the wall, and shall extend from the top of the footing to finished grade. (CRC R406.1)
 - Weep screed.** A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed with a minimum vertical attachment length of 3-1/2 inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 92. The weep screed shall be placed a minimum 4 inches above the earth or 2 inches above paved areas and shall be of a type allowing trapped water to drain to the exterior of the building. (CRC R703.2.1)

H. Grading and soils

- Grading permit.** Grading permit required if volume of earth moved exceeds 20 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Building Code 92.1.1505.1)
- Compaction report.** Compaction report required for fill material 12 inches or more in depth. (CRC 1803.5.8)

I. Green Building Standards Code (CALGreen) Requirements

- Applicability.** CALGreen's minimum standards and measures shall apply to every newly constructed building or structure and within any addition or alteration increasing a building's conditioned area, volume, or size. (CalGreen 101.3, CalGreen 301.1.1.)
- Exception:** All residential buildings undergoing permitted alterations, additions, or improvements shall not be required to comply with CALGreen 4.303.1 and CALGreen 4.303.1.

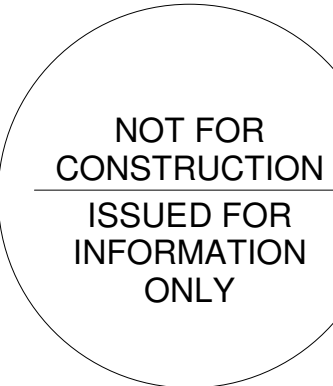
- I. (CALGreen) Requirements (Continued)**
- Water conserving plumbing fixtures and fittings.** Plumbing fixtures and fittings shall comply with the following per CALGreen 4.303.1:
 - Water closets: Maximum 1.28 gallons per flush
 - Urinals: Maximum 0.5 gallons per flush
 - Single showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psi
 - Multiple showerheads serving one shower: Maximum combined flow rate of 2.0 gallons per minute at 80 psi
 - Lavatory faucets: Maximum flow rate of 1.2 gallons per minute at 60 psi, minimum flow rate of 0.8 gallons per minute at 20 psi
 - Kitchen faucets: Maximum flow rate of 1.5 gallons per minute at 60 psi (County Green Building Code 97.1.4.303.1.4.4)
 - Exception:** Temporary increase allowed to maximum 2.2 gallons per minute at 60 psi if faucet is default ball or ceramic ball. 1.5 gallon per minute at 60 psi
 - Appliances:** At least one qualified ENERGY STAR dishwasher or clothes washer shall be installed in each dwelling unit. (County Green Building Code 97.1.4.303.3)
 - Outdoor potable water use in landscape areas.** Residential developments shall comply with local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. (CalGreen 4.304.1)
 - Joints and openings.** Openings in the building envelope separating conditioned space from unconditioned space needed to accommodate utility and other penetrations must be sealed in compliance with the *California Energy Code*. (CalGreen 4.408.1)
 - Exception:** Annual spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such opening with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.
 - Construction waste reduction, disposal, and recycling.** Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. (CalGreen 4.408.1)

Exception: Excavated soil and land-clearing debris.
 - Exception:** Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do exist or are not located reasonably close to the jobsite. The County of San Diego, Department of Public Works, Construction & Demolition (C&D) Facilities Guide is online at: https://www.sandiegocounty.gov/content/dam/sdc/dpw/SOLID_WASTE_PLANNING_and_RECYCLING/UpdatedCDResources/CDFacility_GuideQuickGuide.pdf
 - Exception:** The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
 - Construction waste management plan.** A construction waste management plan in conformance with Items 1-5 shall be completed and available on the job site. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. (CalGreen 4.408.2)
 - Identify the construction and demolition waste materials to be diverted from disposal by recycling or reuse at the project site.
 - Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream).
 - Identify diversion facilities where the construction and demolition waste materials will be taken.
 - Identify construction methods employed to reduce the amount of construction and demolition waste generated.
 - Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.
 - Waste management company.** Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.4. (CalGreen 4.408.3)

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste company.
 - Waste stream reduction alternative [LRF].** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1. (CalGreen 4.408.4)
 - 4.408.4.1 Waste stream reduction alternative.** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1.

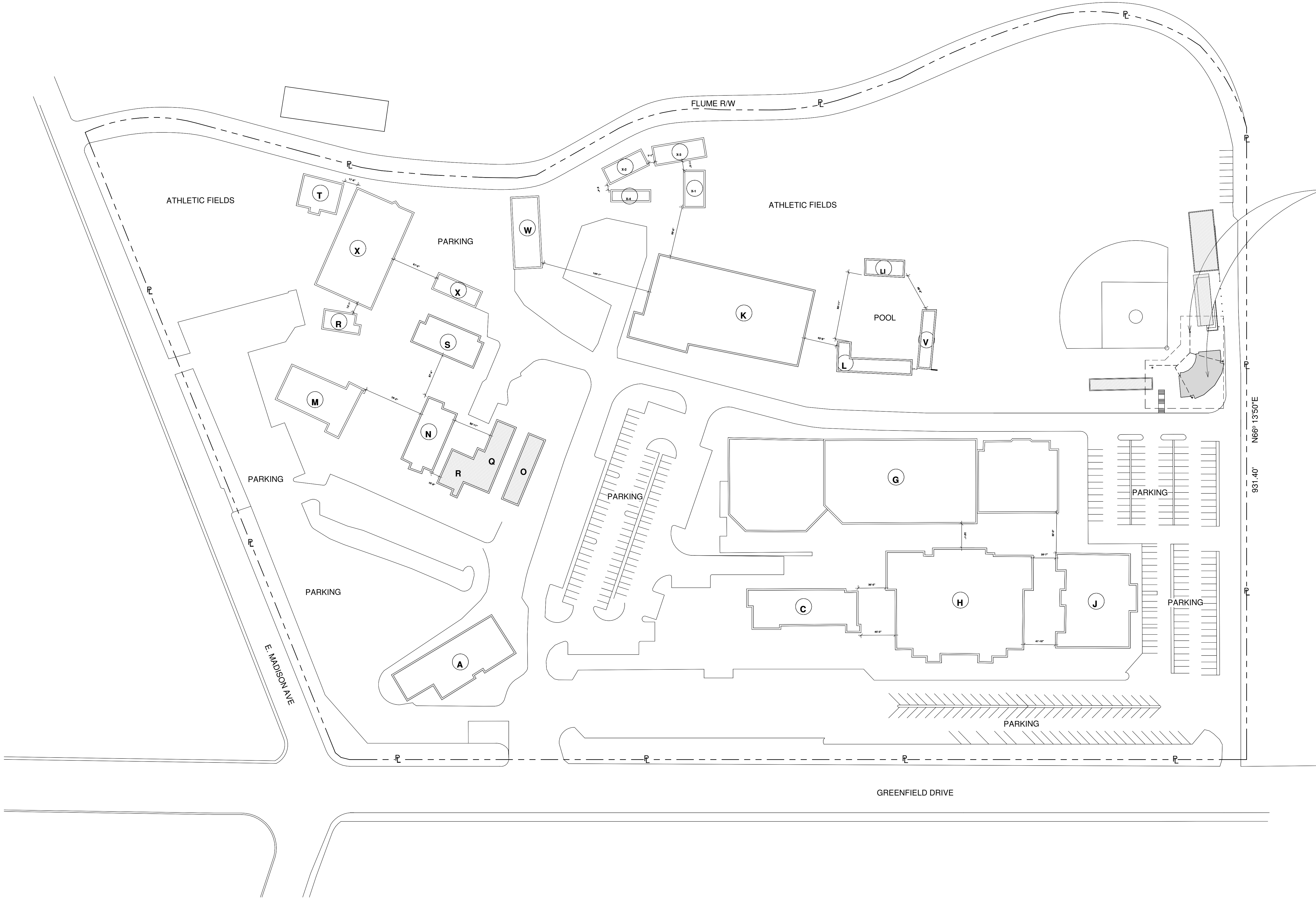
- Documentation.** Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1-5, Section 4.408.3, or Section 4.408.4.
- Operation and maintenance manual.** Prior to final inspection, a manual, compact disc, web-based reference, or other acceptable media which includes all of the following shall be provided in the building (CalGreen 4.410.1):
 - Directions to owner or occupant that manual shall remain with the building throughout the life cycle of the structure.
 - Operation and maintenance instructions for the following:
 - Equipment and appliances, including water-saving devices and systems, HVAC system, photovoltaic systems, water-heating systems and other major appliances and equipment.
 - Roof and yard drainage, including gutters and downspouts.
 - Space conditioning systems, including condensers and air filters.
 - Landscape irrigation systems.
 - Water reuse systems.
 - Information from local utility, water, and waste recovery providers on methods to further reduce resource consumption, including recycle programs and incentives.
 - Public transportation and/or carpool options available in the area.
 - Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range.
- Information about water-conserving landscape and irrigation design and controllers which conserve water.**
- Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.**
- Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.**
- Information about state solar energy and incentive programs available.**
- A copy of all special inspection verifications required by the enforcing agency or code.**
- Covering of duct openings and protection of mechanical equipment during construction.** At the time of rough installation or during storage on the construction site and until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. (CALGreen 4.504.1)
- Adhesives, sealants, caulks, paints, and coatings pollutant control.** Adhesives (including carpet adhesives), sealants, caulks, paints, and coatings shall comply with VOC limits per CALGreen 4.504.2. Verification of compliance shall be provided at the request of the enforcing agency. (CALGreen 4.504.2.1)
- Carpet systems.** All carpet installed in the building interior shall meet the testing and product requirements of one of the following (CALGreen 4.504.3):
 - Carpet and Rug Institute's Green Label Plus Program (all carpet cushion must meet the requirements of this program).
 - California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350).
 - NSF/ANSI 140 at the Gold level.
 - Scientific Certifications Systems Indoor Advantage™ Gold.
- Resilient flooring systems.** At least 80 percent of the floor area receiving resilient flooring shall comply with one of or more of the following (CALGreen 4.504.4):
 - VOC emission limits defined in the Collaborative for High Performance Schools (CHPS), High Performance Products Database.
 - Products compliant with CHPS criteria certified under the Greenguard Children & Schools program.
 - Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program.
 - Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
- Composite wood products.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) by or before the dates specified in those sections, as shown in CALGreen Table 4.504.5. The following limits are in parts per million (CALGreen 4.504.5):
 - Hardwood plywood veneer core 0.05
 - Hardwood plywood composite core 0.05
 - Particle board 0.09
 - Medium-density fiberboard (MDF) 0.11
 - Thin MDF (5/16 inch or less) 0.13

- I. (CALGreen) Requirements (Continued)**
- Moisture content of building materials.** Building materials with visible signs of water damage shall not be installed. Wall and floor materials shall not be enclosed where the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following (CALGreen 4.505.3):
 - Moisture content shall be determined with either a probe-type or contact-type moisture meter.
 - Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece in on vertical wall.
 - At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.
 - Insulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure. Wall and floor materials shall be applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.
 - Bathrooms with**



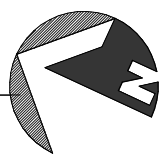
INSERT FORM

INSERT FORM



AREA OF WORK
NEW 300 SEAT GRANDSTANDS
AND LANDSCAPE IMPROVEMENTS
NEW BACK STOP NETTING &
STRUCTURAL POLE SUPPORT

① PLOT PLAN
1" = 60'-0"



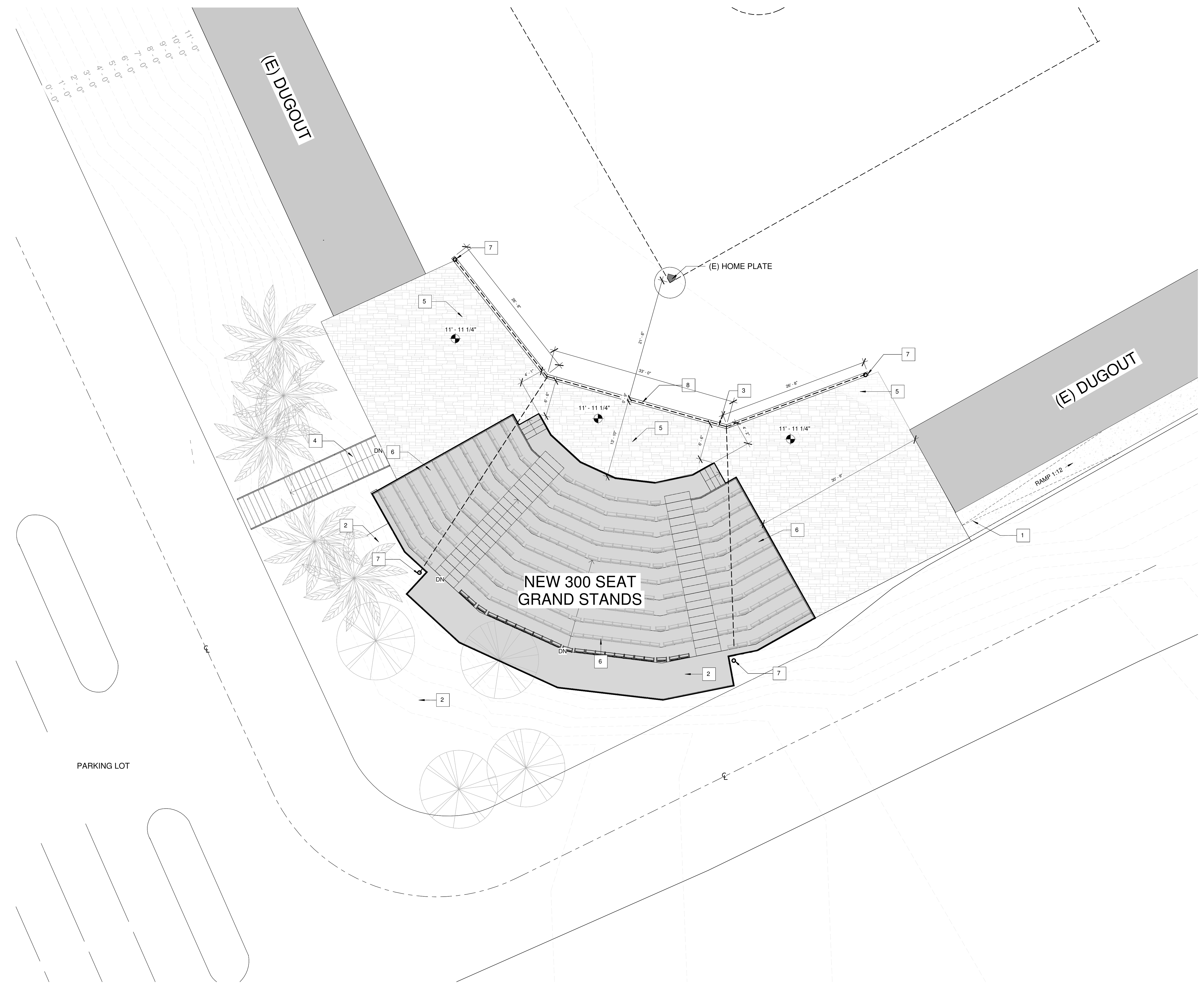
SHADOW MOUNTAIN BALLPARK

2100 GREENFIELD DRIVE
EL CAJON, CA 92109
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REV. NO. DESCRIPTION DATE

HUBBELL & HUBBELL

1970 SIXTH AVE
SAN DIEGO, CA 92101
(619)-231-0446



GENERAL NOTES

SCOPE INCLUDES:
1. (N) CONCRETE FOOTINGS FOR BLEACHERS PER SHEET B3.
2. (N) PERMEABLE PAVERS & CONCRETE EDGE.
3. (N) BACKSTOP INCLUDING 24" CMU WALL, (4) 40' STEEL POLES & 40' NETTING.
4. SITE EXCAVATION AND RECOMPACTION BY OWNER.
5. DEMO BY OWNER.
6. (N) LANDSCAPE BY OWNER.

1 KEYNOTES

1 (E) ACCESSIBLE ACCESS RAMP TO REMAIN
2 (N) LANDSCAPE BY OWNER
3 LINE OF (N) NETTING ABOVE WITH 36" CMU WALL BELOW
4 (E) CONCRETE STAIRS TO REMAIN
5 (N) PERMEABLE PAVING SYSTEM - EXACT TYPE TBD BY OWNER AND CONTRACTOR
6 (N) GRANDSTAND SEATING & METAL SCREEN WALL BELOW BY BLEACHER COMPANY - SEE BLEACHER DRAWINGS FOR MORE DETAILS
7 (N) NETTING POLES - SEE NETTING DRAWINGS FOR MORE DETAILS
8 (N) 24" CMU WALL W/ NETTING ABOVE

SHADOW MOUNTAIN BALLPARK
2100 GREENFIELD DRIVE
EL CAJON, CA 92109
7/27/2022 10:33:02 PM

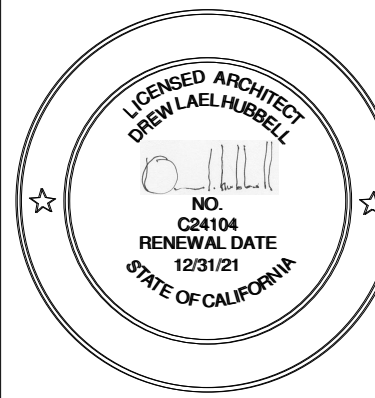
REV. NO. DESCRIPTION DATE

HUBBELL & HUBBELL
1970 SIXTH AVE
SAN DIEGO, CA 92101
(619)-231-0446

SP2


$$1/4" = 1'-0"$$

BLEACHERS ARE DESIGNED AND MANUFACTURED BY OTHERS
SEE SHEETS B1 THRU B13.1 FOR BLEACHER DRAWINGS AND DETAILS
SEE A000 AND S000 SHEETS FOR ARCHED ENTRY AND ROOF
STRUCTURE DESIGN AND DETAILS



	7/8" WHITE PLASTER OVER METAL LATH, OVER WATERPROOFING LAYER, OVER DENS GLASS SHEATHING, OVER METALS STUDS PER STRUCTURAL
	CONC. WALL PER STRUCTURAL
	8" CMU WALL

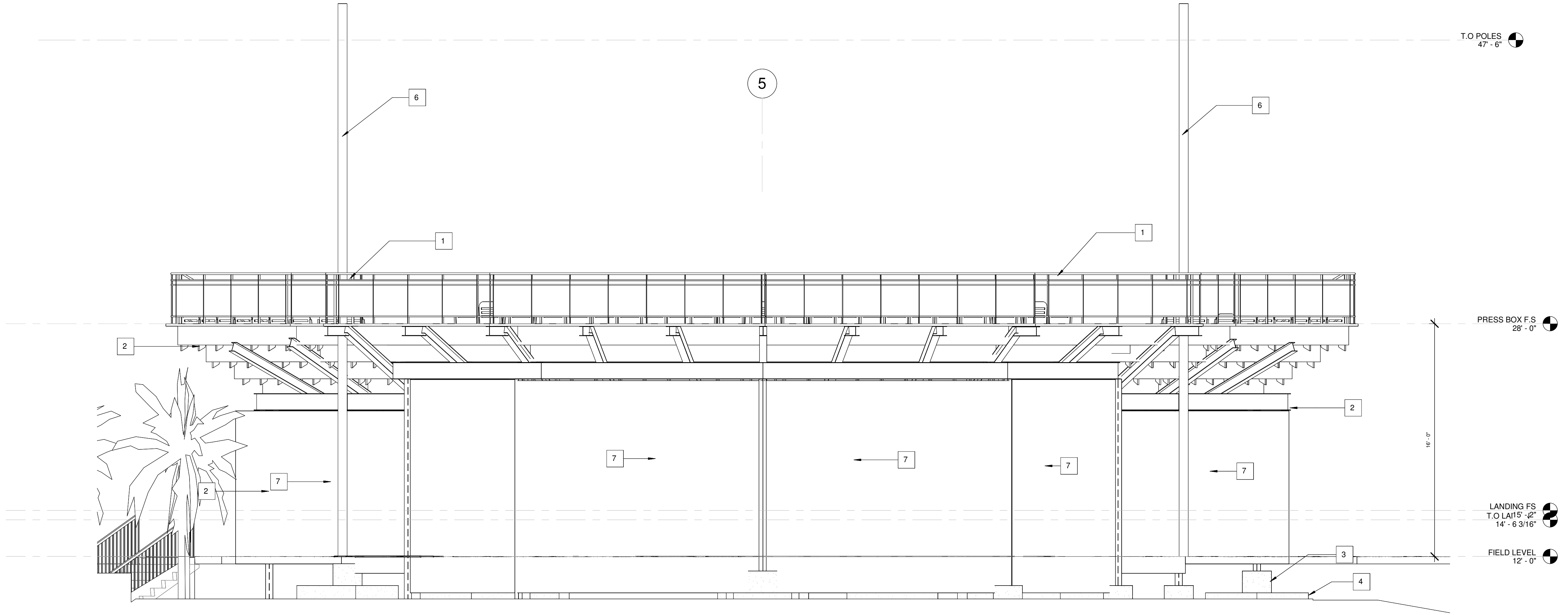
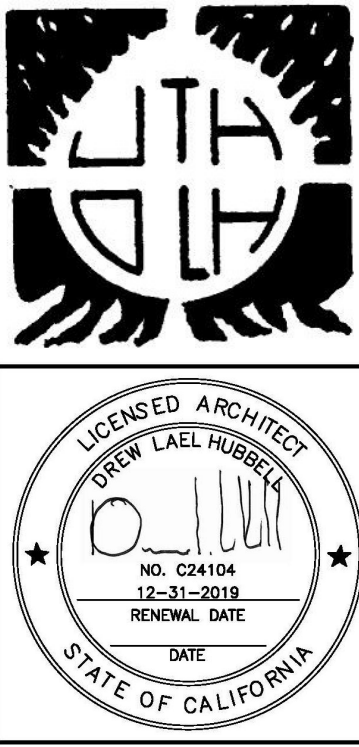
1 36" HIGH GUARD RAILING - BY BLEACHER CONSULTANT SEE
2 BLEACHER DRAWINGS FOR MORE DETAILS
3 LANDING - BY BLEACHER COMPANY - SEE BLEACHER
4 DRAWINGS FOR MORE DETAILS
5 (E) CONCRETE STAIRS TO REMAIN
6 ALUMINUM CLAD WALL BY BLEACHER COMPANY - SEE
7 BLEACHER DRAWINGS FOR MORE DETAILS
8 (N) PERMEABLE PAVING SYSTEM - EXACT TYPE TBD BY
9 OWNER AND CONTRACTOR
10 (N) 6" CONCRETE CURB WITH NETTING EYELET
11 ATTACHMENTS AND NETTING ABOVE - SEE NETTING FOR
12 MORE DETAILS
13 (N) 24" CMU WALL W/ NETTING ABOVE

2100 GREENFIELD DRIVE
EL CAJON, CA 92109

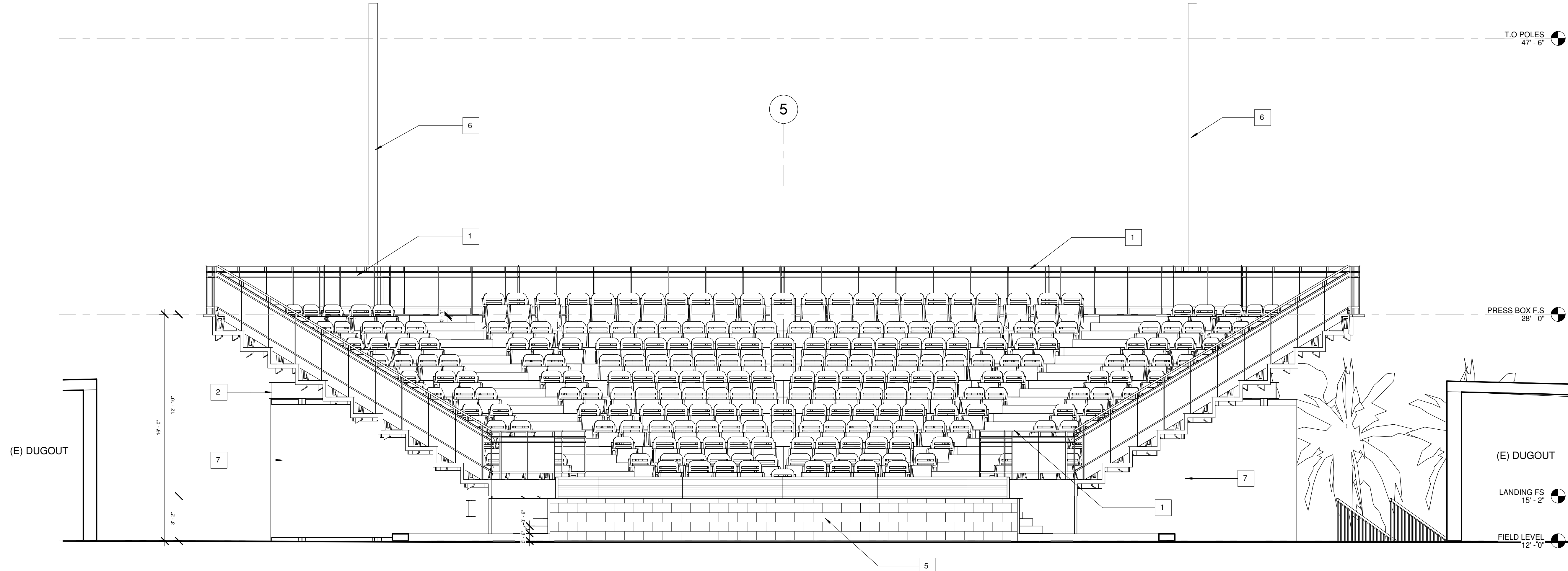
REV. NO.	DESCRIPTION	DATE
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1970 SIXTH AVE
SAN DIEGO CA 92101

A1.1



① PROPOSED REAR ELEVATION
1/4" = 1'-0"



② PROPOSED FRONT ELEVATION
1/4" = 1'-0"

GENERAL NOTES

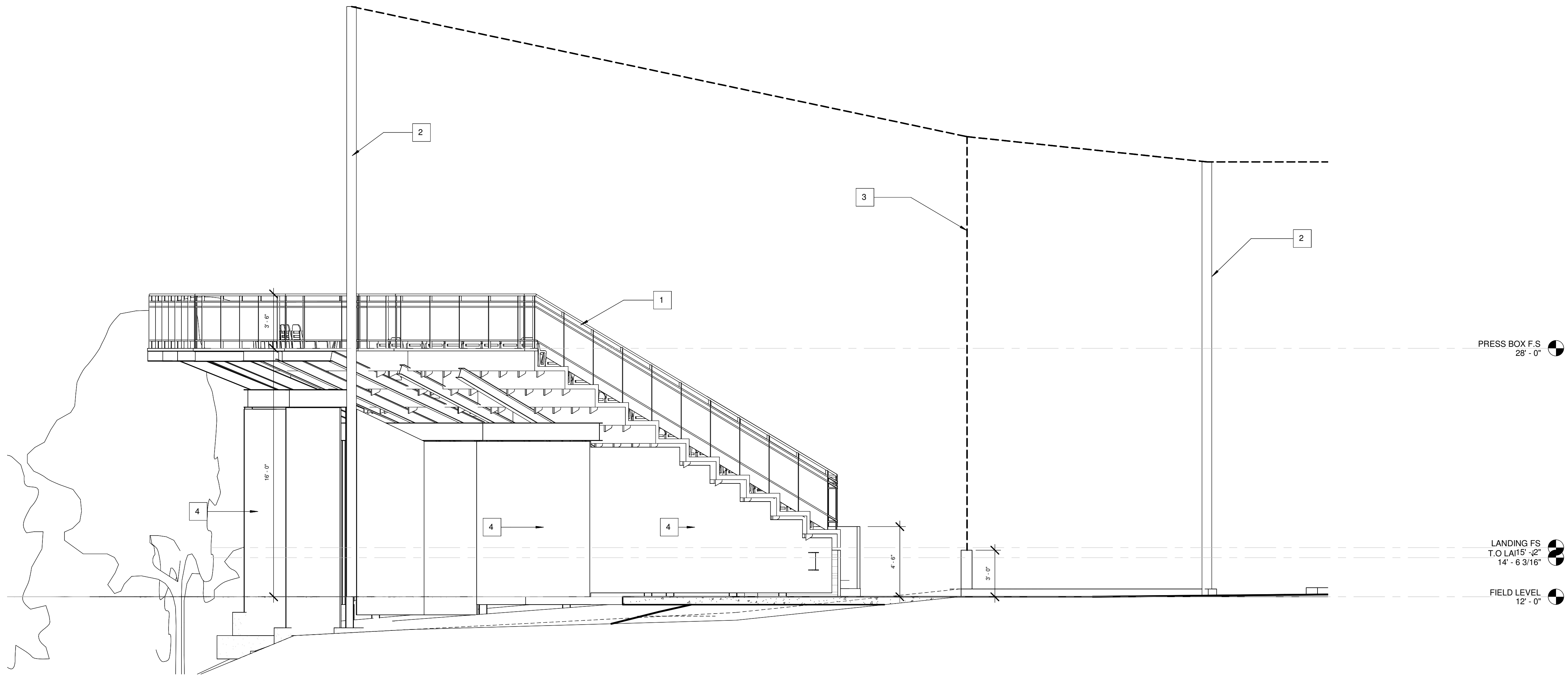
SCOPE INCLUDES:
1. (N) CONCRETE FOOTINGS FOR BLEACHERS PER SHEET B3.
2. (N) PERMABLE PAVERS & CONCRETE EDGE.
3. (N) BACKSTOP INCLUDING 24" CMU WALL, (4) 40' STEEL POLES & 40' NETTING.
4. SITE EXCAVATION AND RECOMPACTION BY OWNER.
5. DEMO BY OWNER.
6. (N) LANDSCAPE BY OWNER.

LICENSED ARCHITECT
DREW LAEL HUBBET
NO. C24104
12-31-2018
RENEWAL DATE
DATE
STATE OF CALIFORNIA

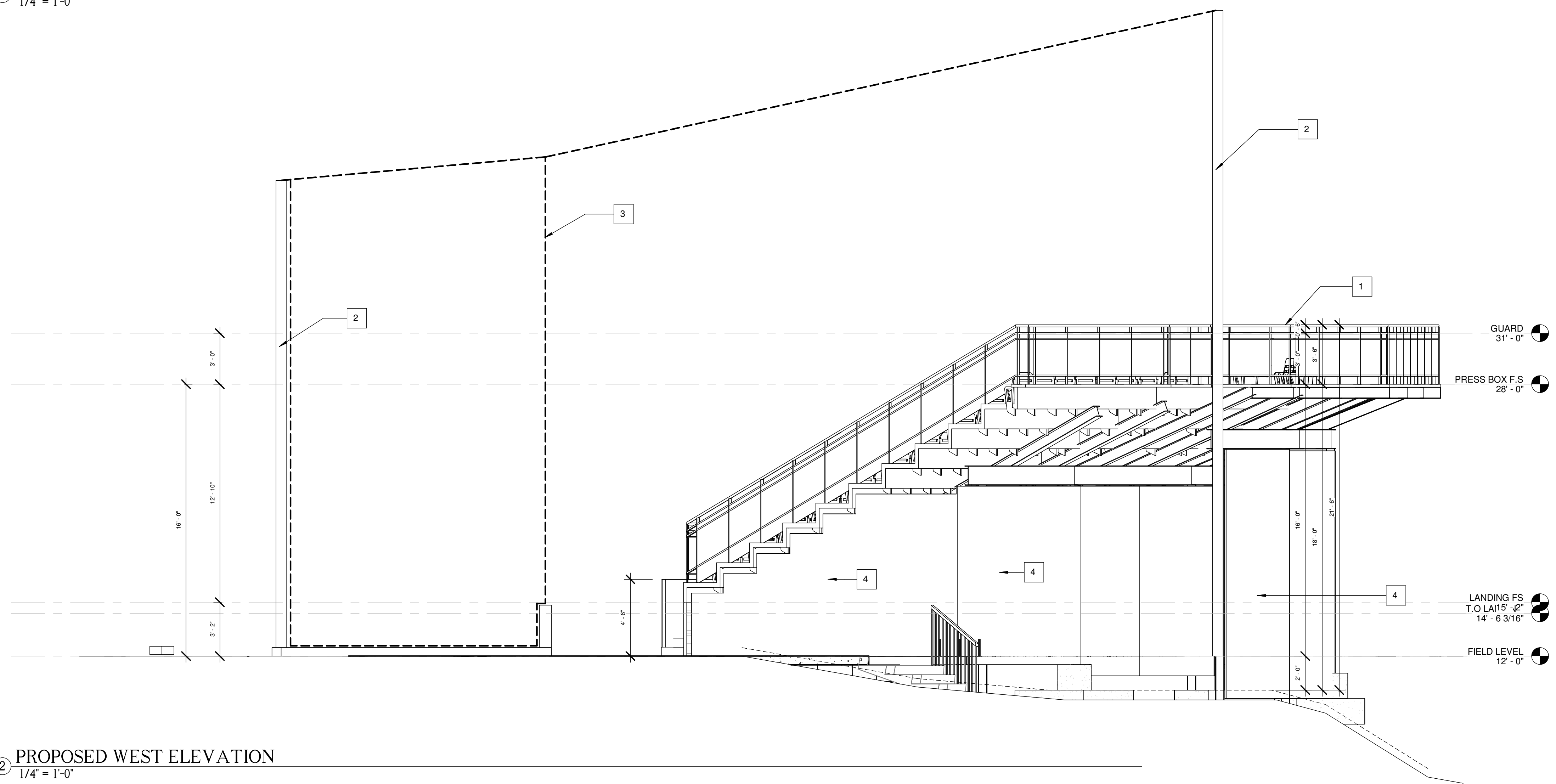
SHADOW MOUNTAIN BALLPARK
2100 GREENFIELD DRIVE
EL CAJON, CA 92109

GRANDSTAND ELEVATIONS

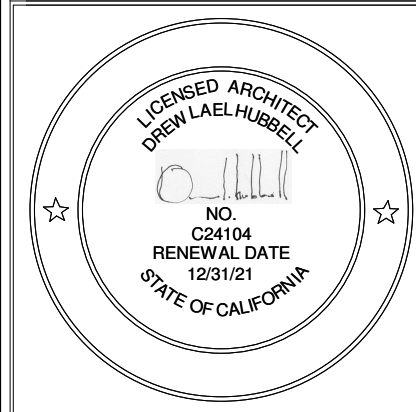
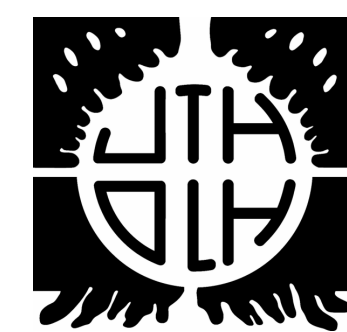
A2.2



1 PROPOSED EAST ELEVATION
1/4" = 1'-0"



2 PROPOSED WEST ELEVATION
1/4" = 1'-0"



SHADOW MOUNTAIN BALLPARK

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EL CAJON, CA 92109
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REV. NO. DESCRIPTION DATE

HUBBELL & HUBBELL

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(619) 231-0446

N1



5075 Flightline Drive
Kingman, AZ 86401

Office (928) 692-1144 Fax (928) 692-1501
Toll Free: (800) 854-5741
www.westcoastnetting.com

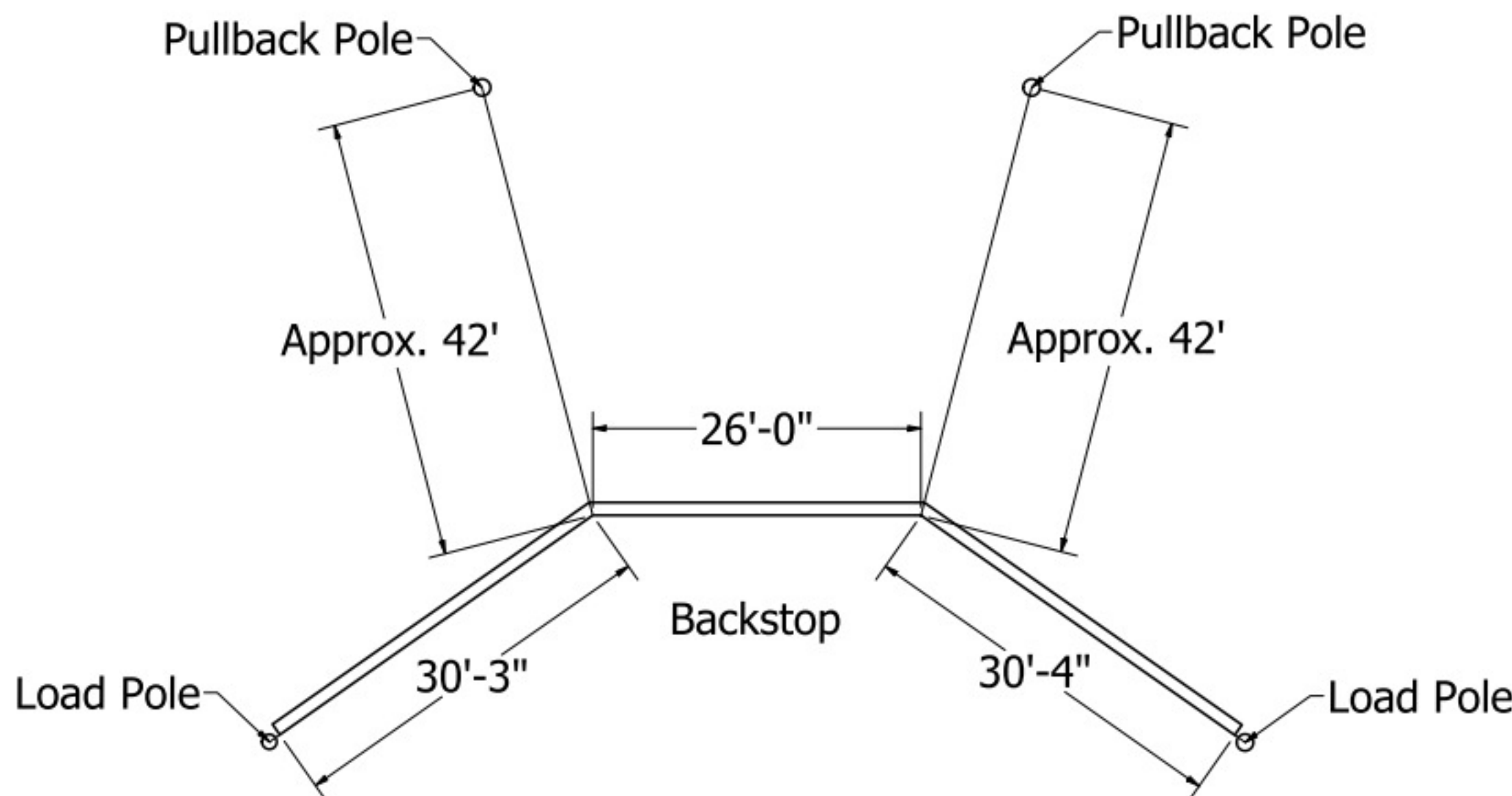
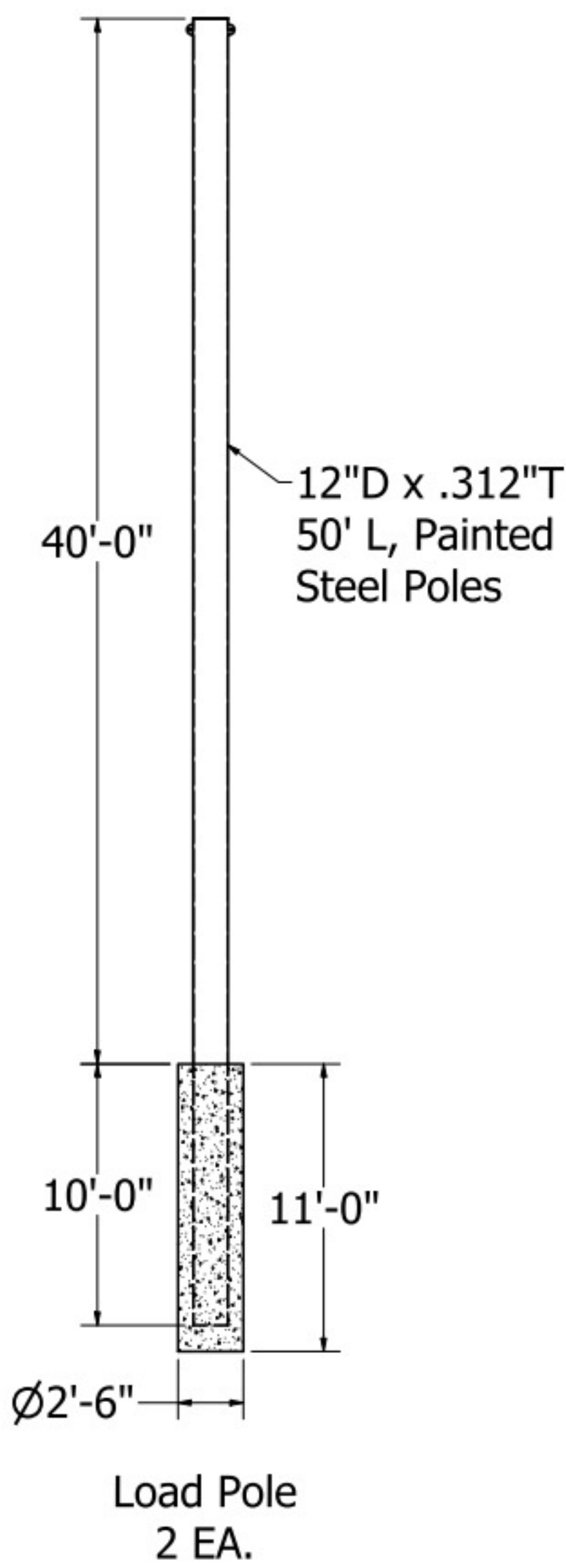
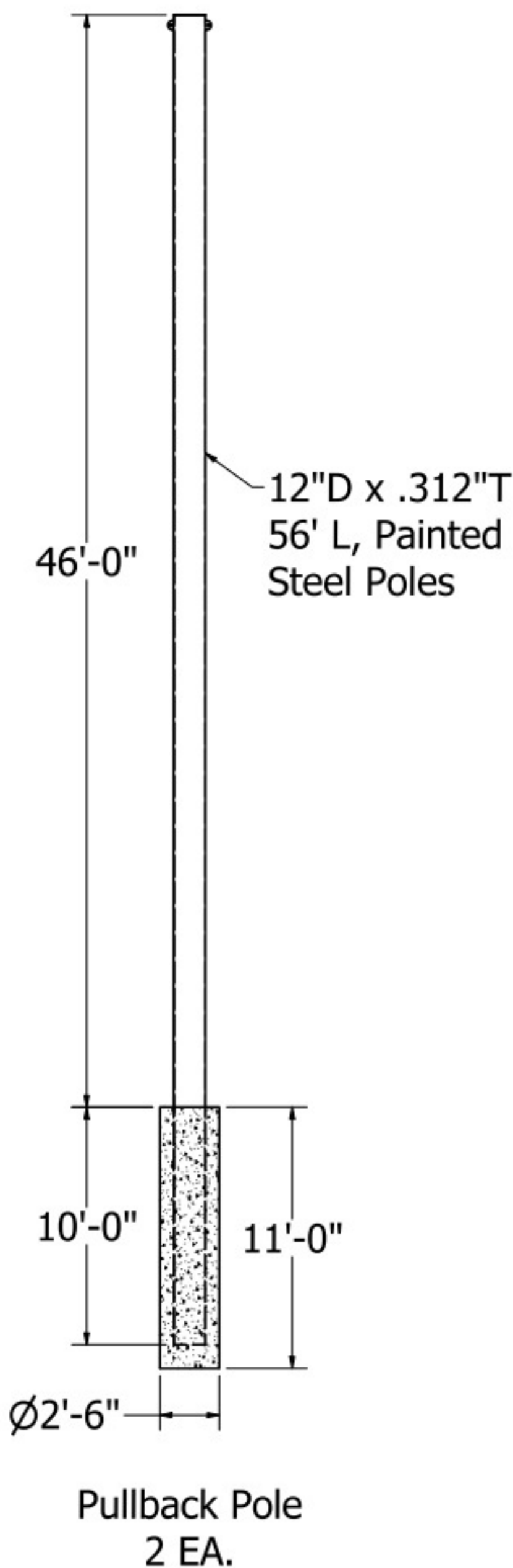
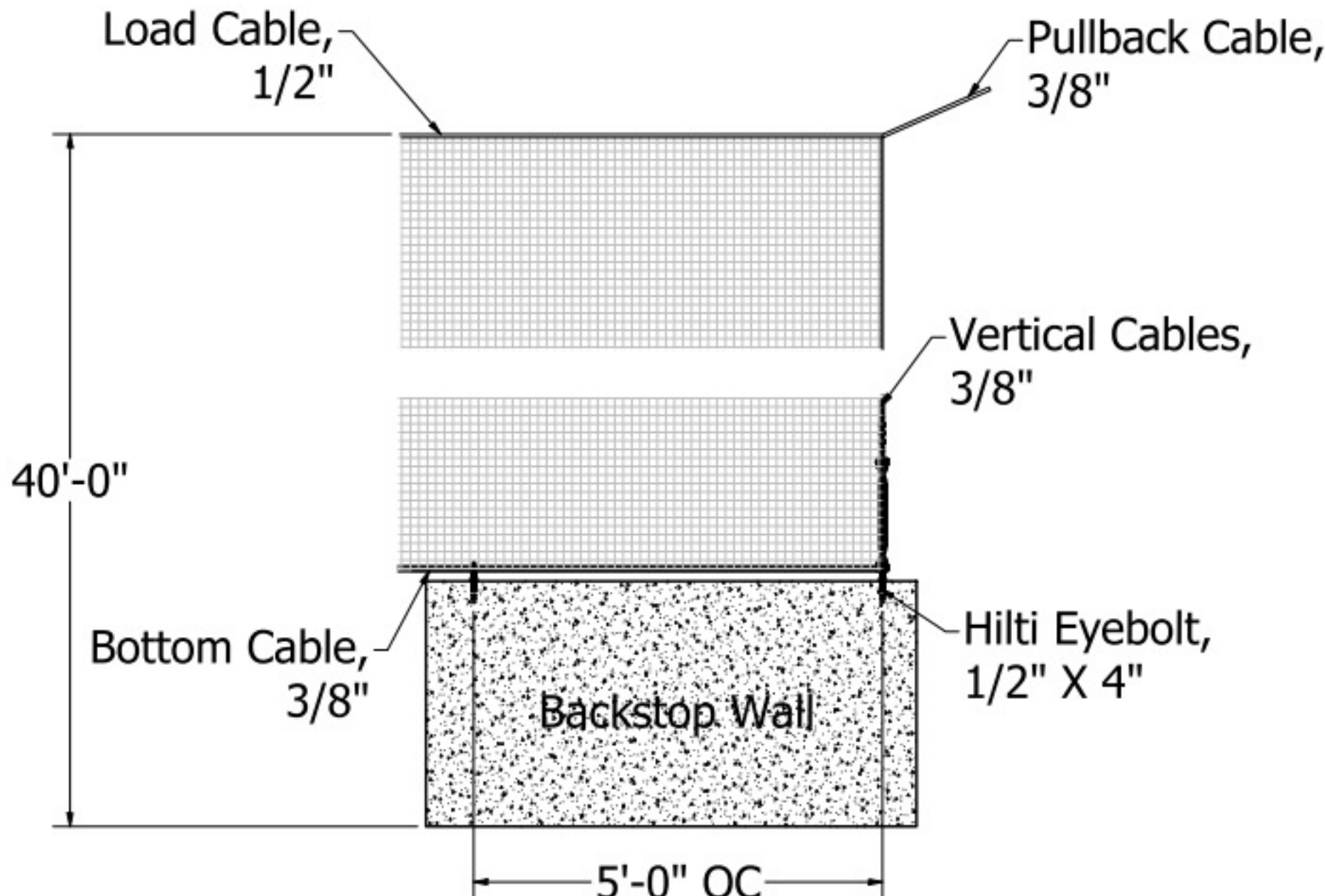
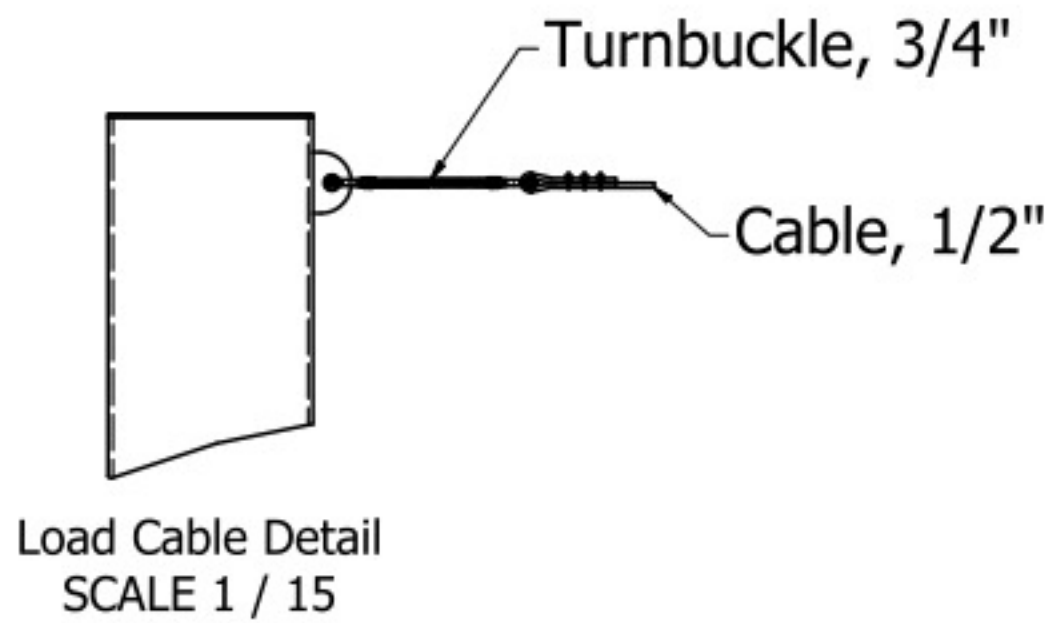
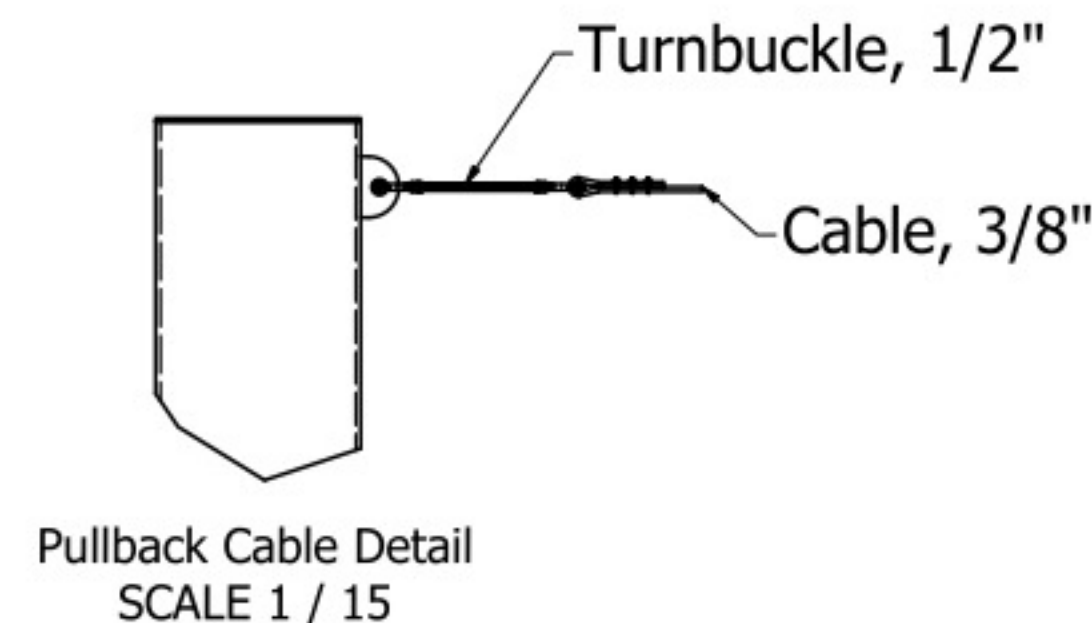
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MARK	DATE	DESCRIPTION

PROJECT TITLE:
Shadow Mountain

SHEET TITLE:
Layout/Detail

DATE: 7/2/2022
SCALE: 1 / 60 | SIZE: D
DRAWN BY: ECR
PROJECT NO.:
DRAWING NO.:
SHEET: 1 OF 1



SHADOW MOUNTAIN COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

SHEET TITLE	SHEET NUMBER
COVER PAGE	B1
GENERAL NOTES	B2
FOOTING LAYOUT	B3
FOOTING DETAILS	B3.1
UNDERSTRUCTURE LAYOUT	B4
ELEVATION VIEW	B5
SECTION VIEW	B6
SECTION VIEW	B7
SIGHT LINES	B8
SEATING LAYOUT	B9
EXIT DETAILS	B10
PLANK DETAILS	B11
EXIT DETAILS	B12
GRANDSTAND DETAILS	B13
GRANDSTAND DETAILS	B13.1



#21295 - EL CAJON, CALIFORNIA

REVISION 1 7/6/2022

GENERAL INFORMATION	
RISE:	14"
TREAD:	33"
ROWS:	11
LENGTH:	MITERED
SEAT COUNT:	319

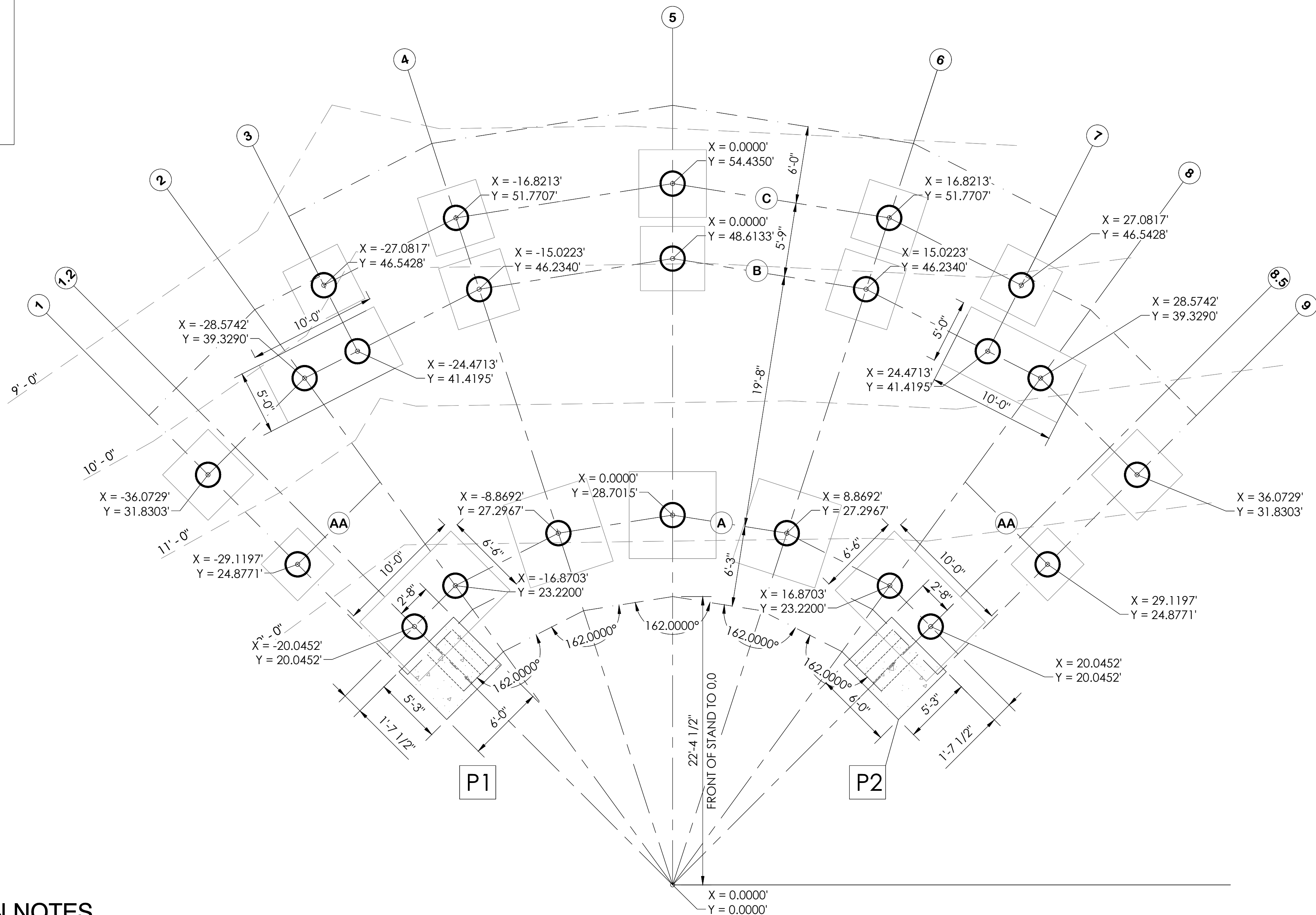
DATE: 10/13/21
JOB #21295
SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA



Southern
BLEACHER COMPANY
GRANDSTANDS • BLEACHERS • STADIUMS

PO Box One, Graham, Texas 76450
801 Fifth Street.
Phone: 940/549-0733 Fax: 940/549-1365

Established 1946



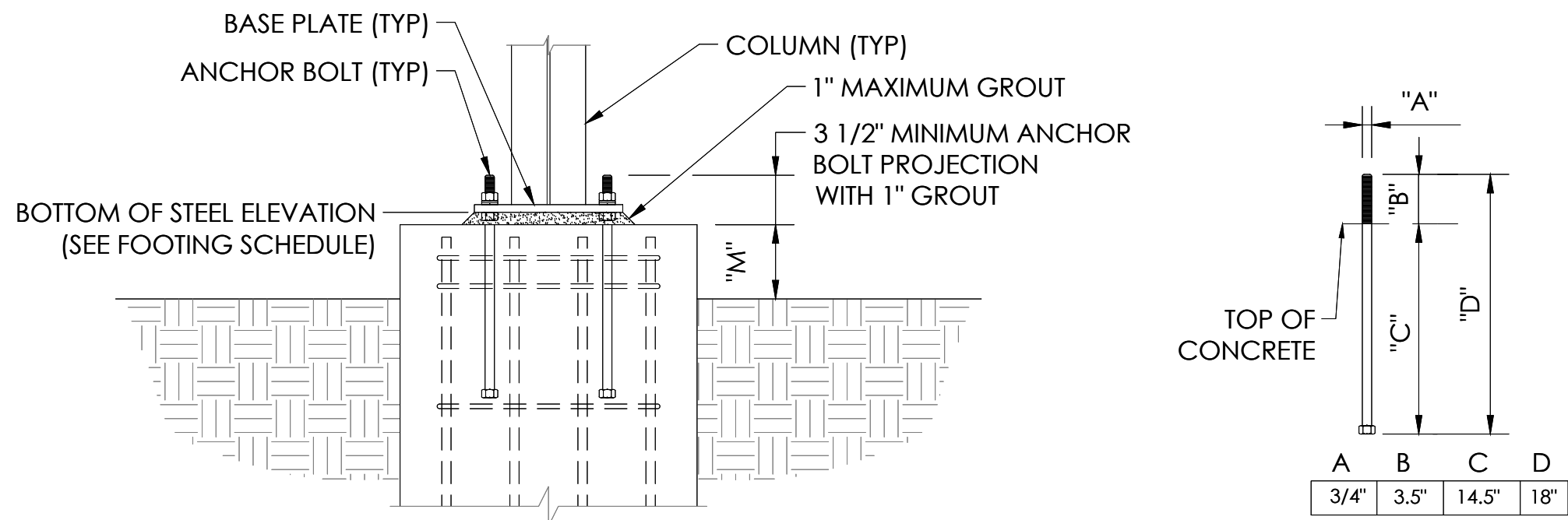
1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO START OF CONSTRUCTION.
2. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60.
3. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
4. MAXIMUM HORIZ. TOLERANCE OF ANCHOR BOLT PLACEMENT SHALL BE $\pm \frac{3}{8}$ ".
5. ALL ANCHOR BOLTS SHALL HAVE A $3\frac{1}{2}$ " PROJECTION ($\pm \frac{3}{8}$ ") ABOVE THE TOP OF PIER ELEVATION, UNLESS SPECIFICALLY NOTED OTHERWISE.
6. THE CONCRETE FOUNDATION CONTRACTOR IS RESPONSIBLE FOR NON SHRINK GROUTING.
7. THE ELEVATION AT THE TOP OF THE CONCRETE PIER IS DESIGNED TO BE 1" BELOW THE BOTTOM OF STEEL ELEVATION. THE TOLERANCE FOR THE BOTTOM OF STEEL ELEVATION IS $\pm \frac{3}{8}$ ". THE TOP OF CONCRETE ELEVATION MAY BE RAISED TO MATCH THE BOTTOM OF STEEL ELEVATION, AT THE CONCRETE CONTRACTORS DISCRETION. THE CONTRACTOR OF THE CONCRETE FOUNDATIONS IS RESPONSIBLE FOR ANY ADJUSTMENTS REQUIRED.
8. ALL UNDERGROUND UTILITIES ARE TO BE LOCATED AND MARKED DURING THE REVIEW PROCESS BY THE OWNERS REPRESENTATIVE PRIOR TO FOUNDATION EXCAVATION.
9. REMOVE/RELOCATE THE UNDERGROUND UTILITIES AS REQUIRED WHERE UNDERGROUND UTILITIES CONFLICT WITH THE NEW FOOTINGS.

1
B3

FOOTING LAYOUT

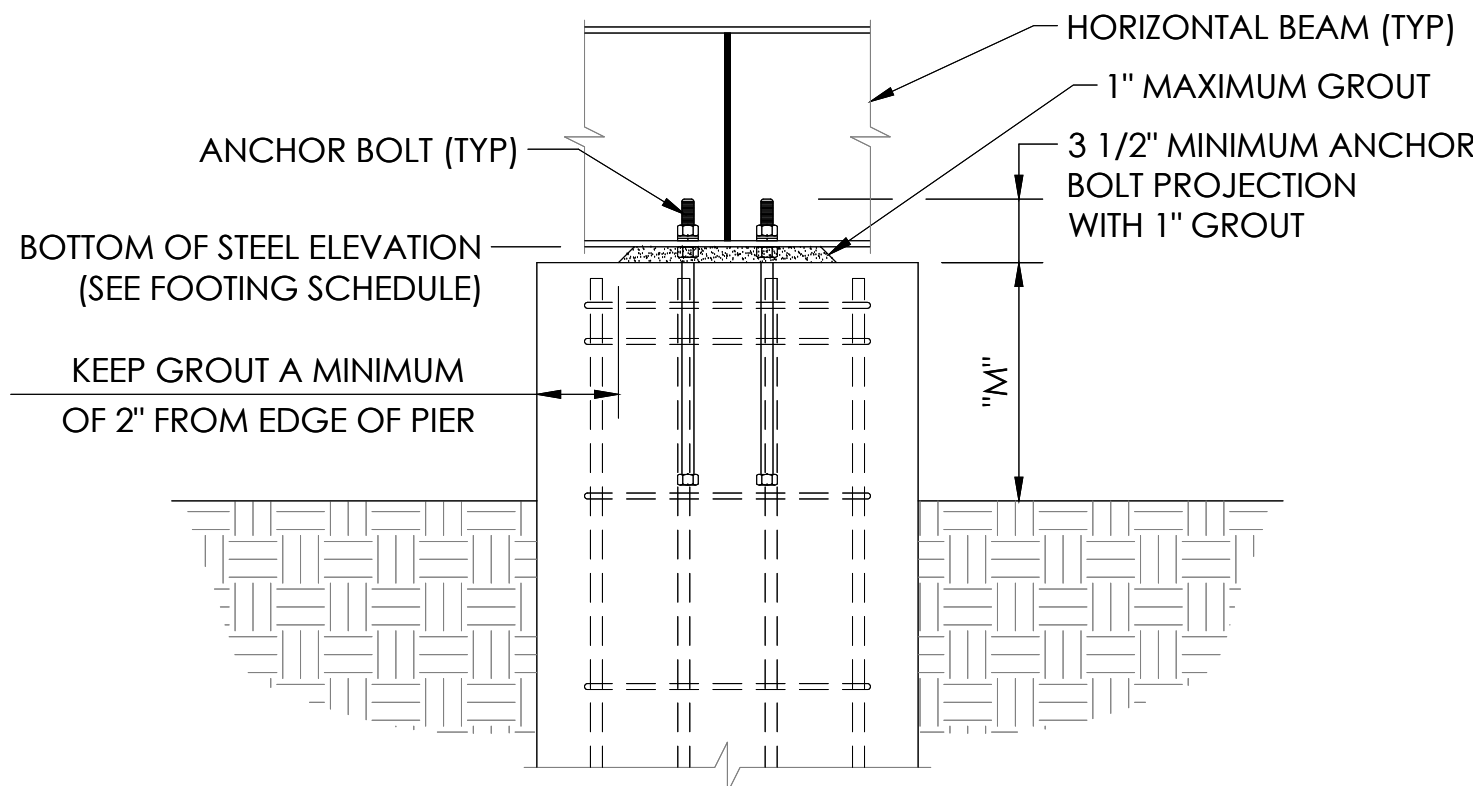
SCALE:3/16"=1'-0"

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<p>TAYLOR & SYFAN</p> <p>Southern BLEACHER COMPANY</p> <p>GRANDSTANDS • BLEACHERS • STADIUMS</p>	
<p>REGISTERED PROFESSIONAL ENGINEER BRIAN T. DEAN E 6087 Exp. 08/30/2023 STATE OF CALIFORNIA</p> <p>S&S 07/08/22</p> <p>PRINCIPAL</p>	
<p>SHADOW MOUNTAIN PARK COMMUNITY CHURCH SHADOW MOUNTAIN PARK RENOVATION EL CAJON, CALIFORNIA</p>	
<p>TYPE FOOTING LAYOUT 14" RISE X 33" TREAD (11 ROWS)</p>	<p>TITLE</p>
<p>REV BY DATE DESCRIPTION</p> <p>DATE 10/13/21</p> <p>JOBS NUMBER</p>	<p>DRAWN VK</p> <p>DMC</p> <p>#21295</p>
<p>SHEET</p> <p>B3</p>	<p>OF</p> <p>B13.1</p>
<p>DATE 10/13/21</p> <p>JOBS NUMBER</p> <p>DATE 7/14/22</p> <p>ADDITION SUPPORTS FOR BANNERS</p>	



@ COLUMN

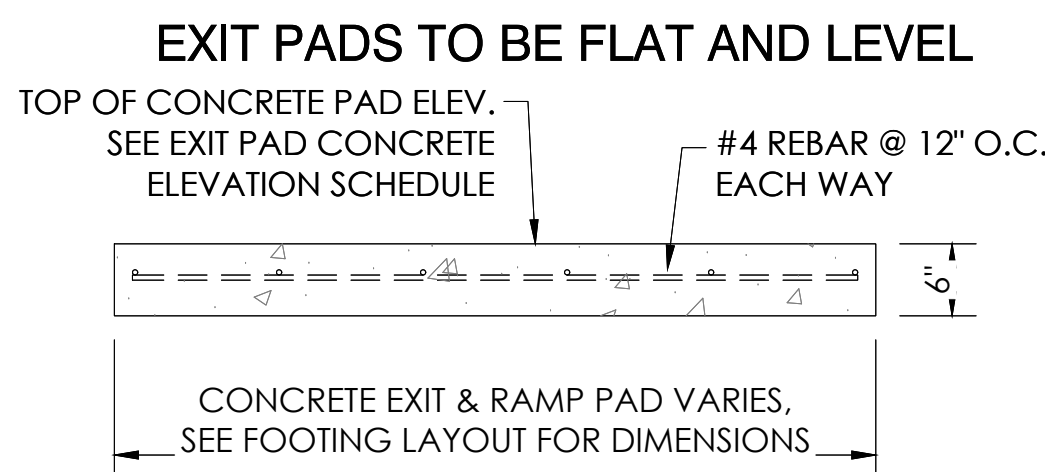
1 TOP OF PIER DETAIL
B3.1 NOT TO SCALE



@ HORIZONTAL BEAM

FOOTING SCHEDULE
T.O.P. = TOP OF PIER
B.O.S. = BOTTOM OF STEEL

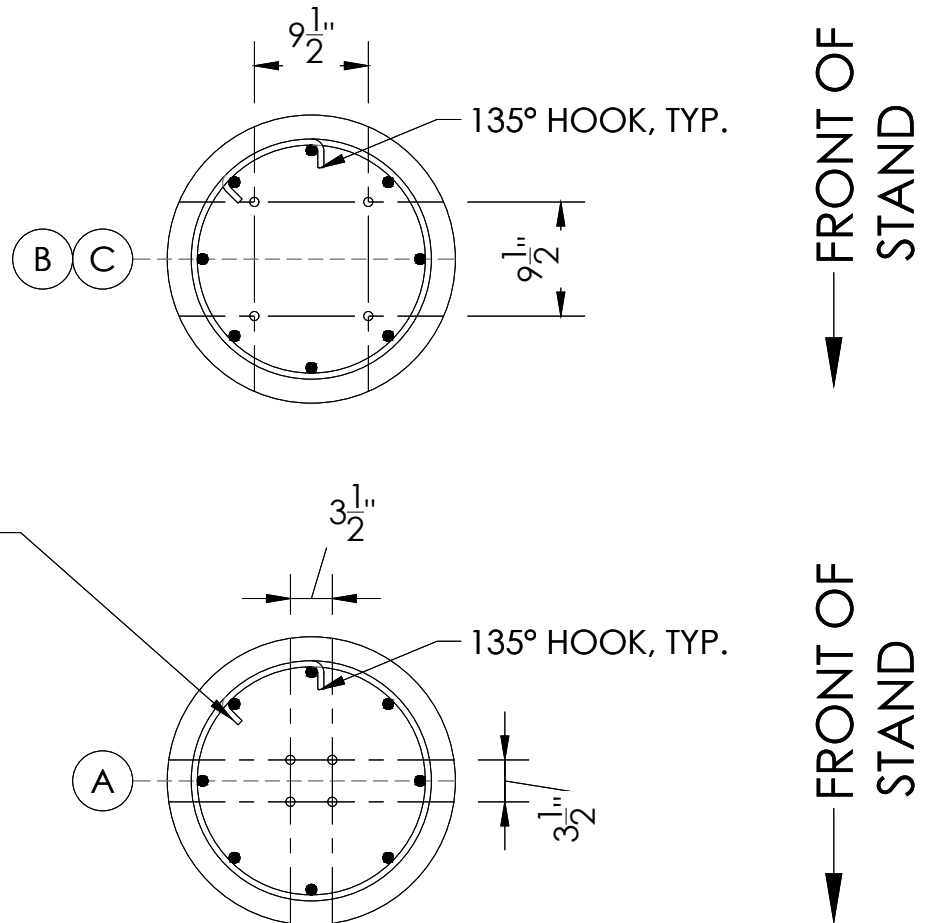
FOOTING # (R = RAMP PIER) (A/B/C=GRIDLINE)	T.O.P. ELEV.	B.O.S. ELEV.	"H" MIN.	"D" MIN.	"H2"	"W"	FOOTING REINFORCEMENT
A1,2-2 & A8,5-9	12.203'	12.286'	14"	19"	38" MAX.	10'-0" X 6'-6"	#6 @ 12" O.C. EACH WAY TOP AND BOTTOM
A 4-6	12.203'	12.286'	14"	19"	38" MAX.	6'-9" X 6'-9"	(7) #6 EACH WAY BOTTOM & #5 @ 18" O.C. TOP
AA1 & AA9	11.010'	11.194'	14"	19"	38" MAX.	4'-0" X 4'-0"	(4) #6 EACH WAY BOTTOM
B 1,4,5,6	10.406'	10.590'	14"	19"	38" MAX.	5'-0" X 5'-0"	(5) #6 EACH WAY BOTTOM
B2, B3	10.406'	10.590'	14"	19"	38" MAX.	10'-0" X 5'-0"	#6 @ 12" O.C. EACH WAY TOP AND BOTTOM
B7, B8	11.635'	11.719'	14"	19"	38" MAX.	10'-0" X 5'-0"	#6 @ 12" O.C. EACH WAY TOP AND BOTTOM
B9	11.635'	11.719'	14"	19"	38" MAX.	5'-0" X 5'-0"	(5) #6 EACH WAY BOTTOM
C	9.860'	9.943'	14"	19"	38" MAX.	4'-9" X 4'-9"	(5) #6 EACH WAY BOTTOM
C5	9.860'	9.943'	14"	19"	38" MAX.	5'-3" X 5'-3"	(5) #6 EACH WAY BOTTOM



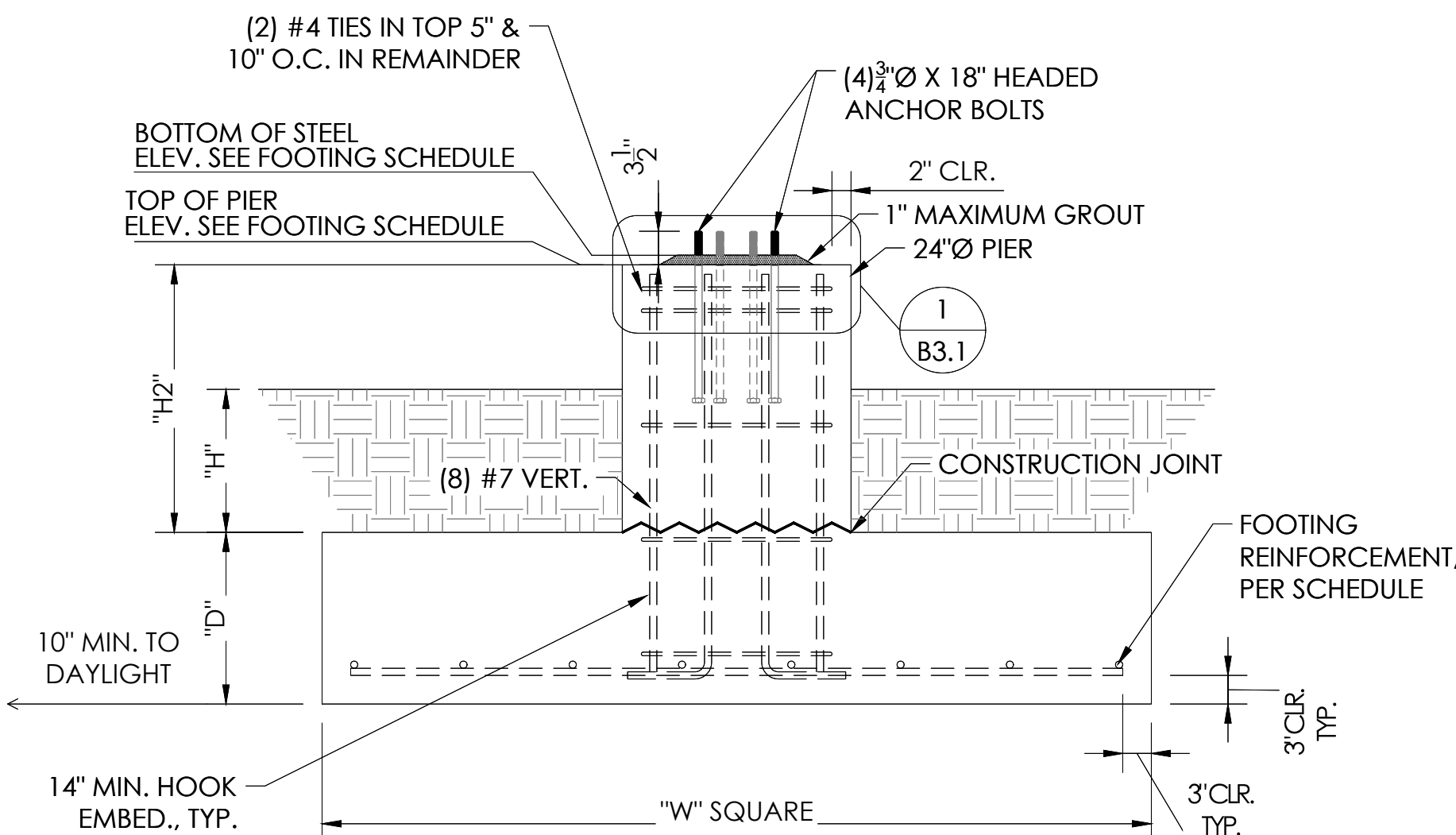
2 MINIMUM
EXIT PAD DETAIL
B3.1 NOT TO SCALE

EXIT PAD CONCRETE
ELEVATION SCHEDULE

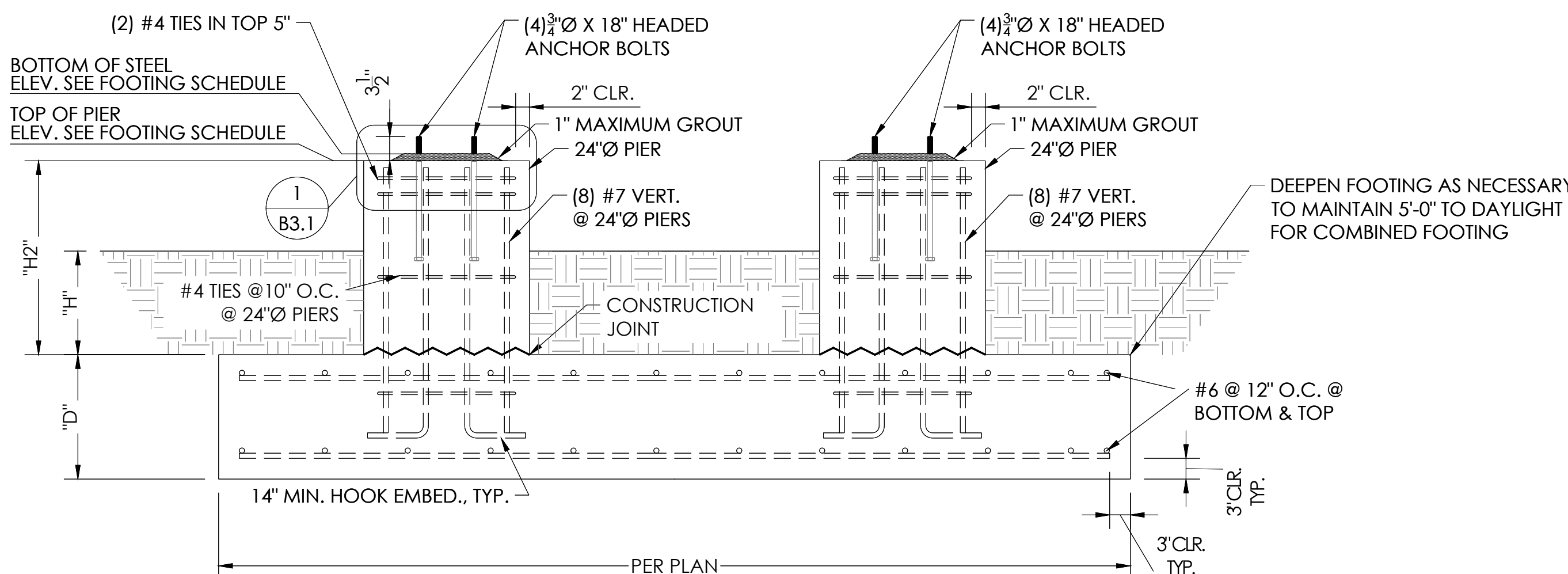
(P = CONCRETE PAD)	TOP OF CONCRETE ELEV.
P1	12.00'
P2	12.00'



THE ENDS OF THE CIRCULAR TIE SHALL OVERLAP BY NOT LESS THAN 6" AND TERMINATE WITH STANDARD HOOKS THAT ENGAGE A VERTICAL BAR. OVERLAPS AT ENDS OF ADJACENT CIRCULAR TIES SHALL BE STAGGERED AROUND THE PERIMETER ENCLOSING THE LONGITUDINAL BARS, TYP.



3 FOOTING & PIER DETAIL
B3.1 NOT TO SCALE

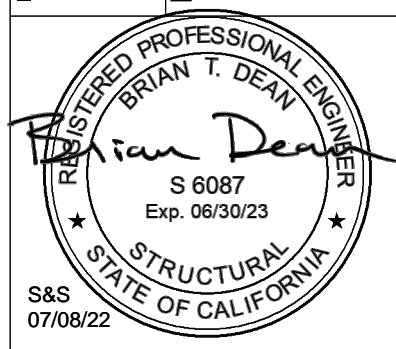


4 A1 & A2/ A8 & A9 MONOLITHIC PAD DETAIL
B3.1 NOT TO SCALE

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Established 1946

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PRINCIPAL




SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

REV	BY	DATE	DESCRIPTION
1	JCS	10/13/21	14" RISE X 33" TREAD / MITERED (11 ROWS)
2	VK	10/13/21	ADDITIONAL SUPPORTS FOR BANNERS
3	DMC	10/13/21	

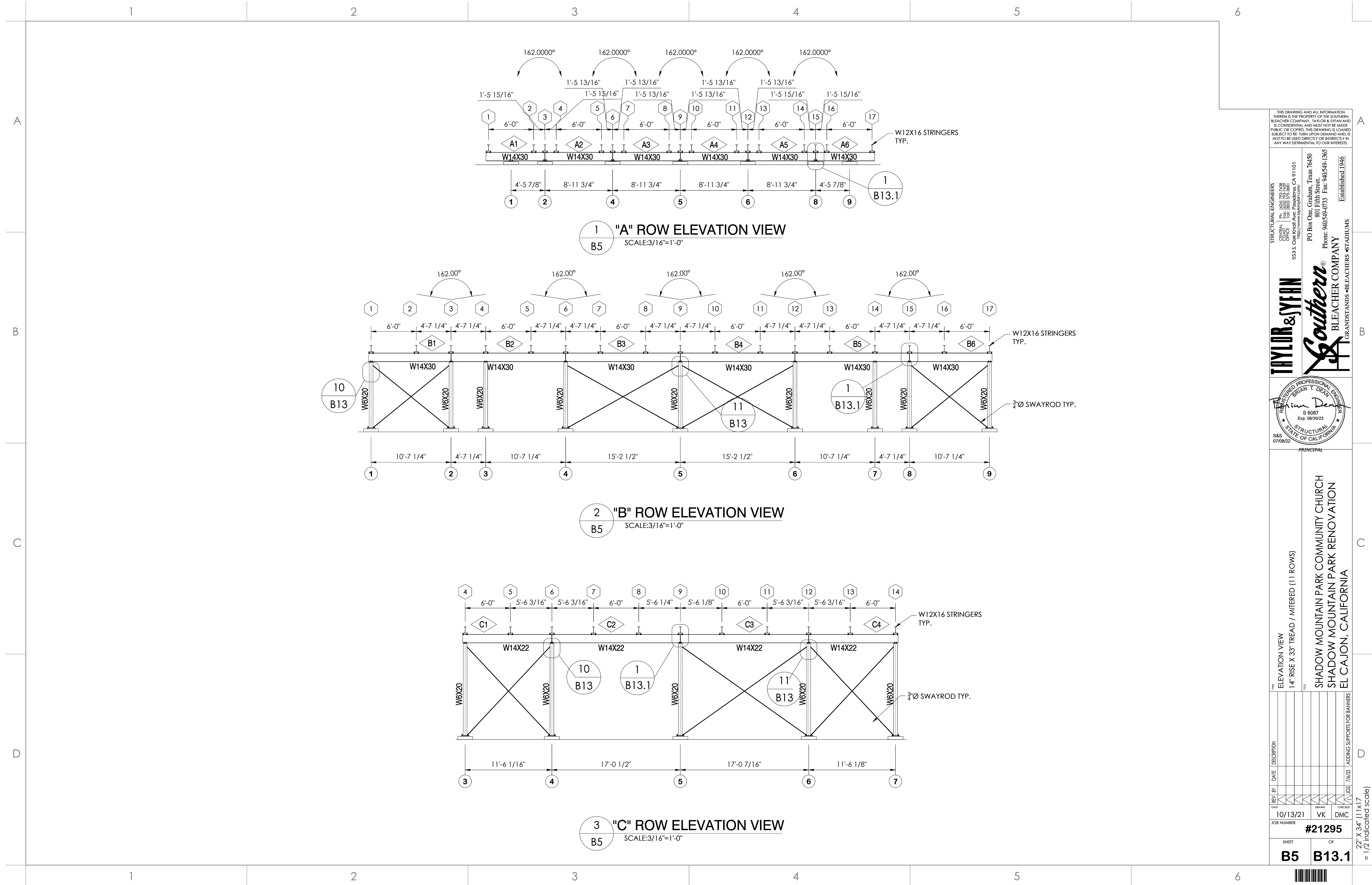
#21295
SHEET OF
B3.1 B13.1



22" X 34" (11x17
= 1/2 indicated scale)

 = PIER LETTERS
 = STRINGER NUMBERS
 = BEAM NUMBERS

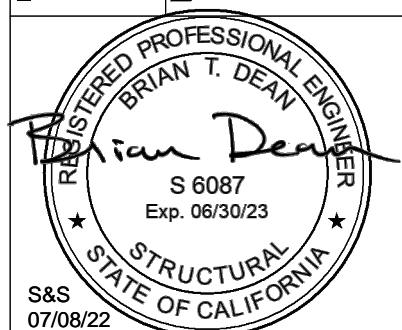

$$= 1/2 \text{ indicated scale})$$



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PRINCIPAL

SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

REV.	DATE	DESCRIPTION
1	10/13/21	14" RISE X 33" TREAD / MITERED (11 ROWS)
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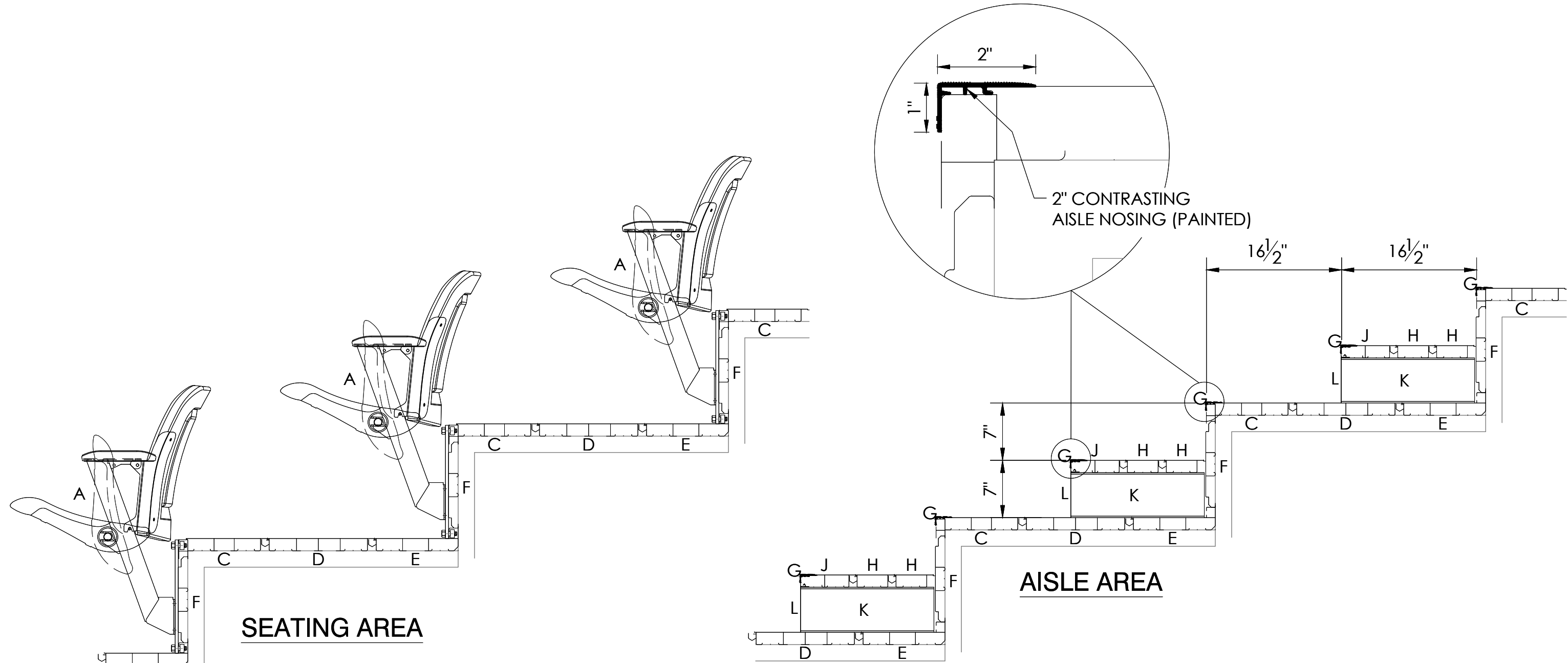
#21295
SHEET OF
B5 B13.1



22" X 34" (11x17)
= 1/2 indicated scale

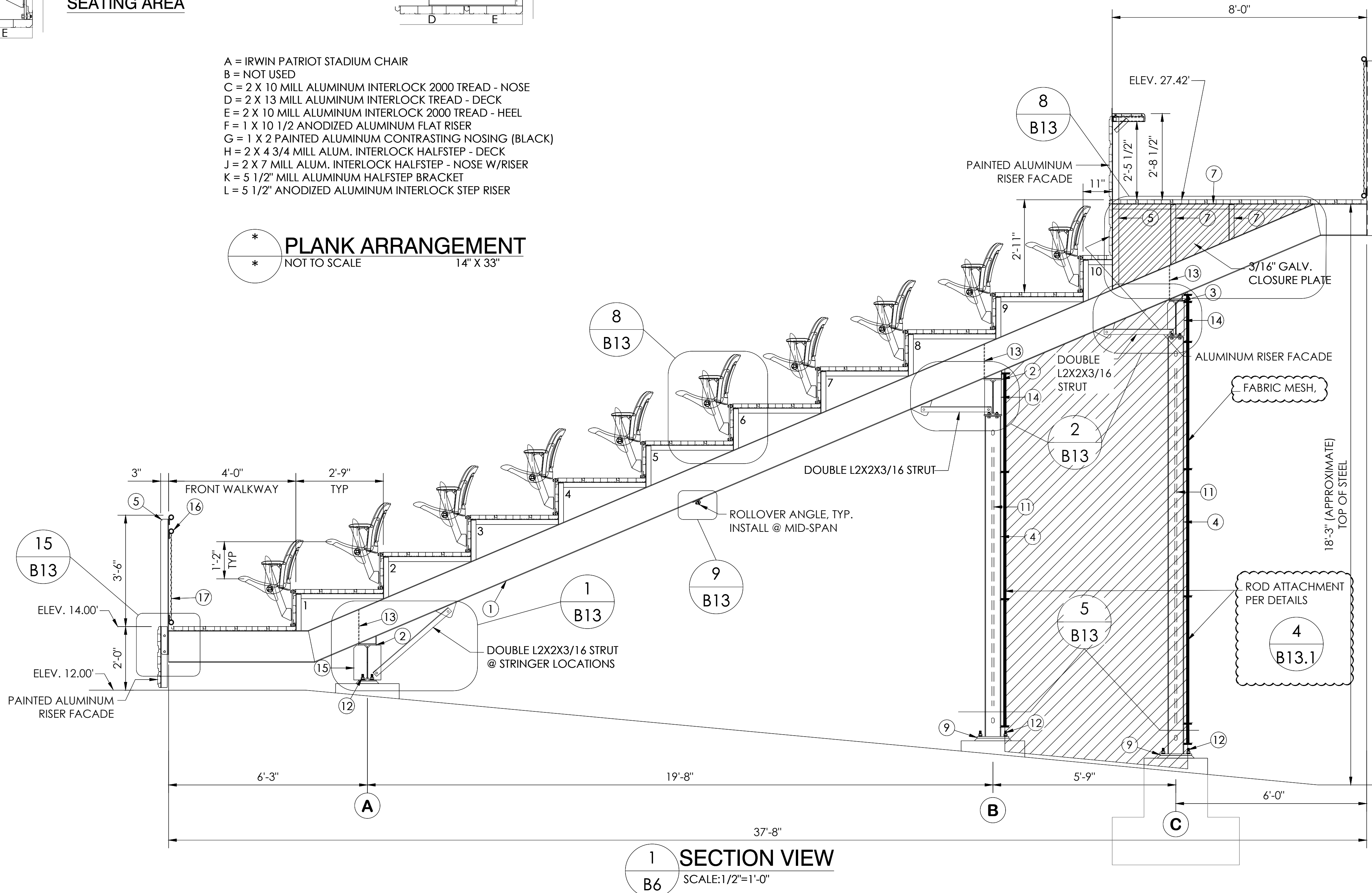
ITEM DESCRIPTION

- ① W 12 X 16 (50 ksi)
② W 14 X 30 (50 ksi)
③ W 14 X 22 (50 ksi)
④ W 6 X 20 (50 ksi)
⑤ L 3 X 3 X 1/4 (50 ksi)
⑥ L 2 X 2 X 3/16 (50 ksi)
⑦ L 2 X 1 1/2 X 3/16 (50 ksi)
⑧ L 1 1/2 X 1 1/2 X 3/16 (50 ksi)
⑨ 12 X 12 X 5/8 PLATE
⑩ 6 X 8 X 3/8 PLATE
⑪ 3/4 X REQ'D LENGTH SWAY ROD (50 ksi)
⑫ 3/4 X 18 ANCHOR BOLT W/2 HEX HEAD NUTS & FLAT WASHER
⑬ 2 X 1/4 GUSSET PLATE (A36)
⑭ 3 X 3/8 GUSSET PLATE (A36)
⑮ 5 X 3/8 GUSSET PLATE (A36)
⑯ ANODIZED ALUMINUM RAIL (SEE NOTES)
⑰ 9 GAUGE CHAINLINK FENCE



A = IRWIN PATRIOT STADIUM CHAIR
B = NOT USED
C = 2 X 10 MILL ALUMINUM INTERLOCK 2000 TREAD - NOSE
D = 2 X 13 MILL ALUMINUM INTERLOCK TREAD - DECK
E = 2 X 10 MILL ALUMINUM INTERLOCK 2000 TREAD - HEEL
F = 1 X 10 1/2 ANODIZED ALUMINUM FLAT RISER
G = 1 X 2 PAINTED ALUMINUM CONTRASTING NOSING (BLACK)
H = 2 X 4 3/4 MILL ALUM. INTERLOCK HALFSTEP - DECK
J = 2 X 7 MILL ALUM. INTERLOCK HALFSTEP - NOSE W/RISER
K = 5 1/2" MILL ALUMINUM HALFSTEP BRACKET
L = 5 1/2" ANODIZED ALUMINUM INTERLOCK STEP RISER

* PLANK ARRANGEMENT
* NOT TO SCALE 14" X 33"



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REGISTERED PROFESSIONAL ENGINEER
BRIAN T. DEAN
S 6087
Exp. 06/30/23
STRUCTURAL
STATE OF CALIFORNIA
07/08/22
PRINCIPAL

SECTION VIEW
14" RISE X 33" TREAD / MITERED (11 ROWS)
SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

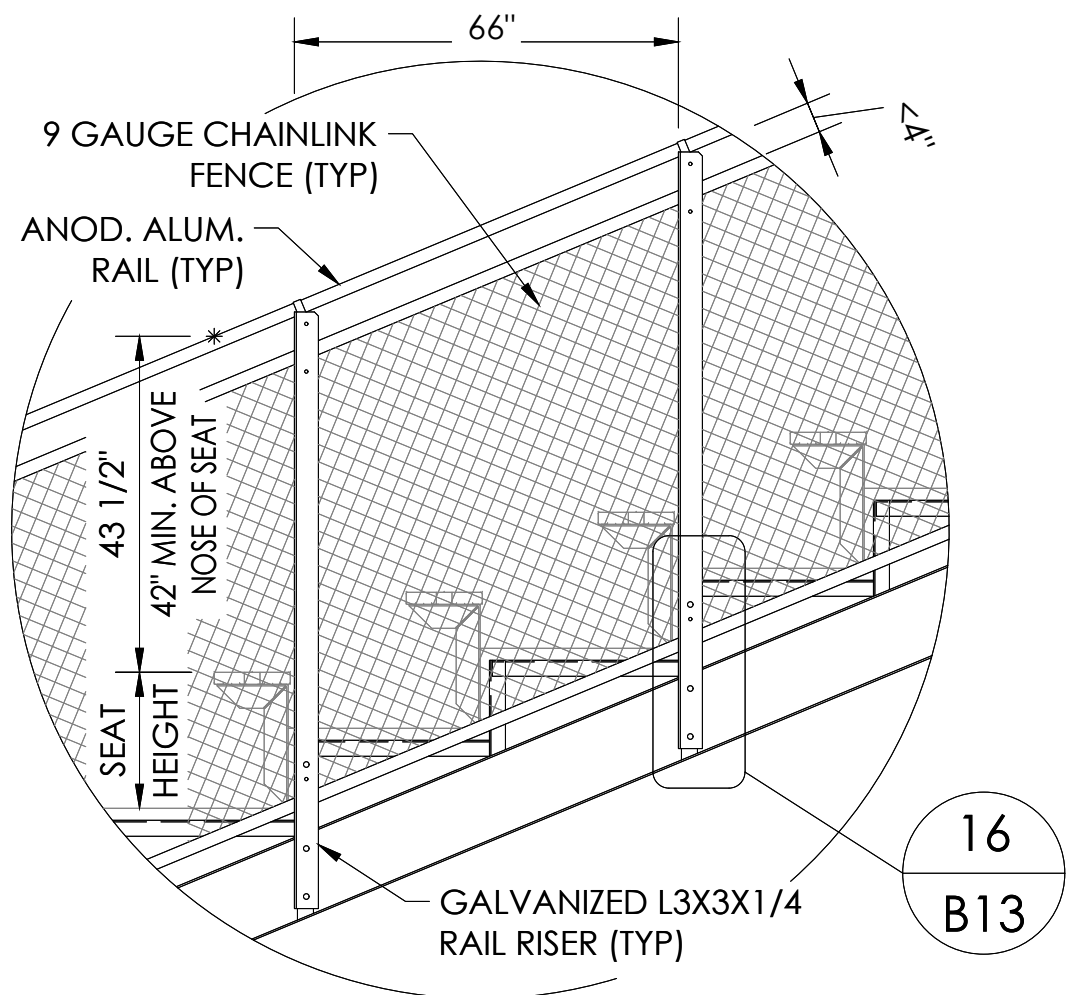
REV	BY	DATE	DESCRIPTION
1	JCS	7/6/22	ADDING SUPPORTS FOR BANNERS
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JOB NUMBER
#21295
SHEET
B6
OF
B13.1

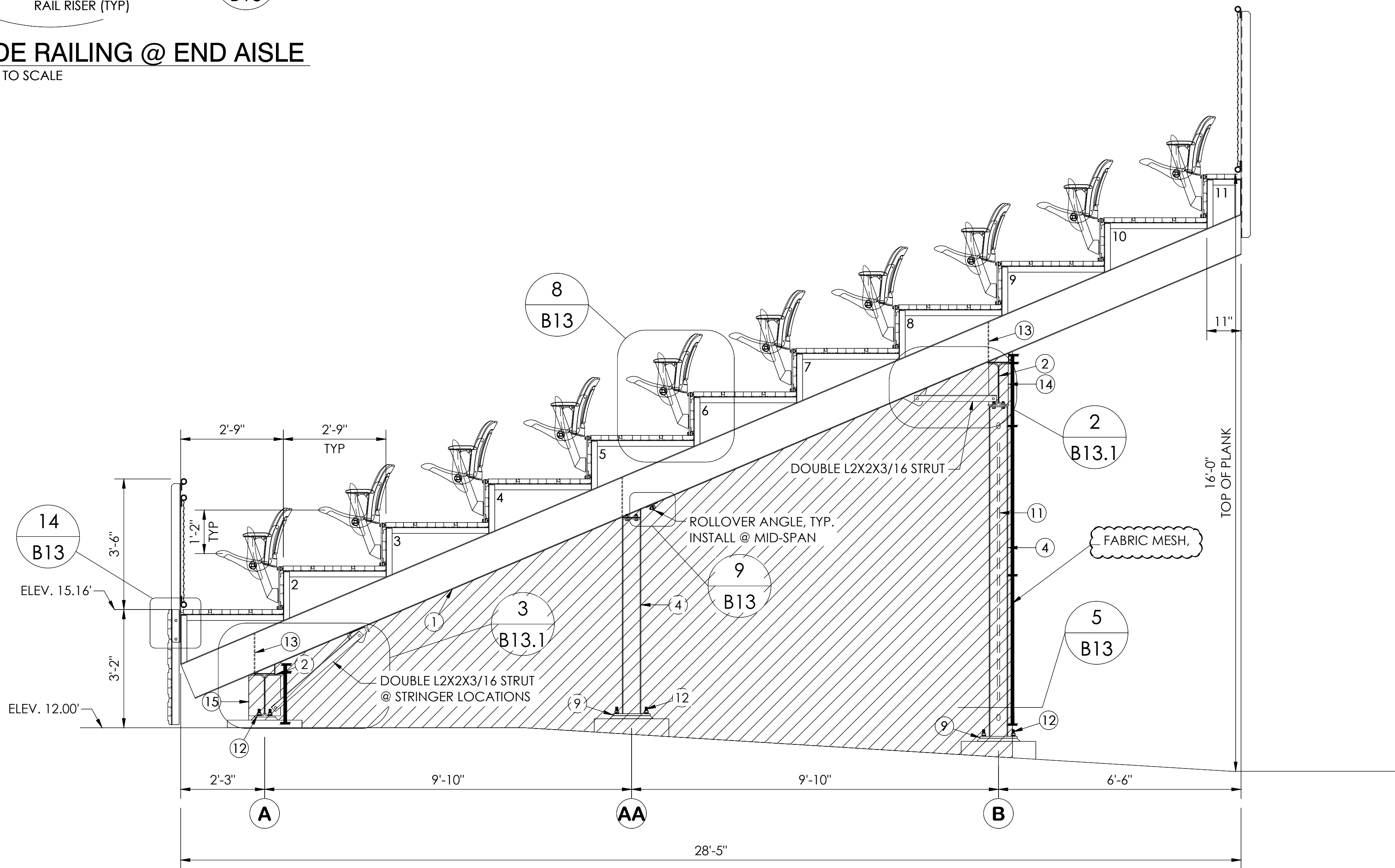


22" X 34" (11x17)
= 1/2 indicated scale)

- ITEM DESCRIPTION
- ① W 12 X 16 (50 ksi)
 - ② W 14 X 30 (50 ksi)
 - ③ W 14 X 22 (50 ksi)
 - ④ W 6 X 20 (50 ksi)
 - ⑤ L 3 X 3 X 1/4 (50 ksi)
 - ⑥ L 2 X 2 X 3/16 (50 ksi)
 - ⑦ L 2 X 1 1/2 X 3/16 (50 ksi)
 - ⑧ L 1 1/2 X 1 1/2 X 3/16 (50 ksi)
 - ⑨ 12 X 12 X 5/8 PLATE
 - ⑩ 6 X 8 X 3/8 PLATE
 - ⑪ 3/4 X REQ'D LENGTH SWAY ROD (50 ksi)
 - ⑫ 3/4 X 18 ANCHOR BOLT W/2 HEX HEAD NUTS & FLAT WASHER
 - ⑬ 2 X 1/4 GUSSET PLATE (A36)
 - ⑭ 3 X 3/8 GUSSET PLATE (A36)
 - ⑮ 5 X 3/8 GUSSET PLATE (A36)
 - ⑯ ANODIZED ALUMINUM RAIL (SEE NOTES)
 - ⑰ 9 GAUGE CHAINLINK FENCE



2 SIDE RAILING @ END AISLE
NOT TO SCALE



1 SECTION VIEW
SCALE: 1/2"=1'-0"

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801 Fifth Street,
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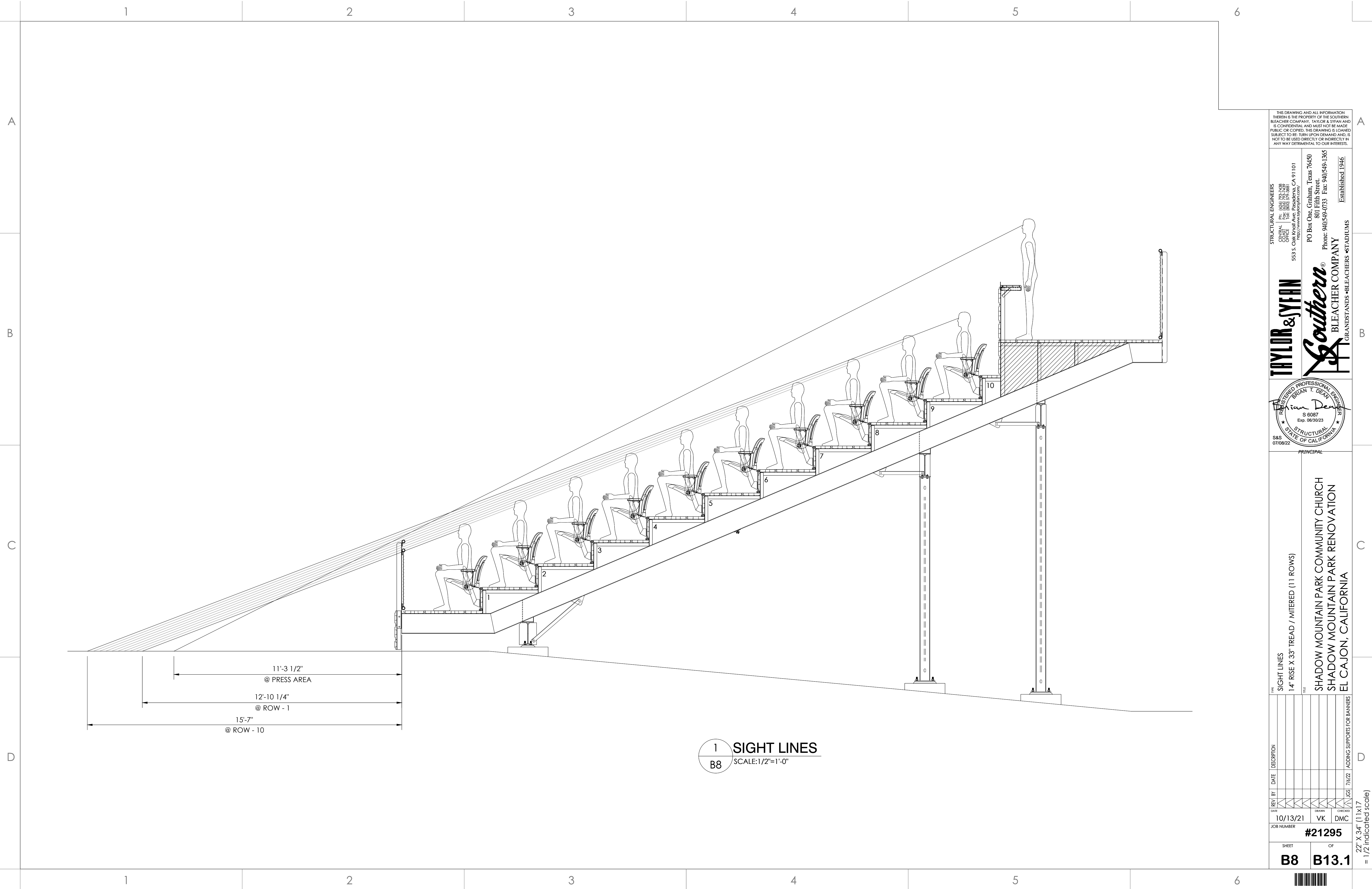
SECTION VIEW
14" RISE X 33" TREAD / MITERED (11 ROWS)
SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

REV	BY	DATE	DESCRIPTION
1	JCS	7/6/22	ADDING SUPPORTS FOR BANNERS
DATE	10/13/21	VK	DMC
JOB NUMBER	#21295		

SHEET OF
B7 B13.1



22" X 34" (11x17
= 1/2 indicated scale)

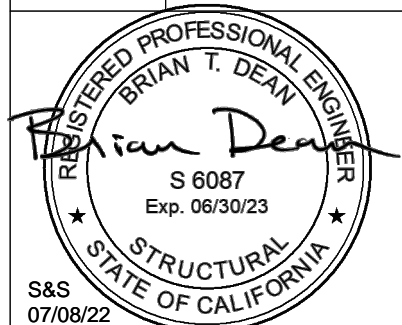


1 SIGHT LINES
B8 SCALE: 1/2"=1'-0"

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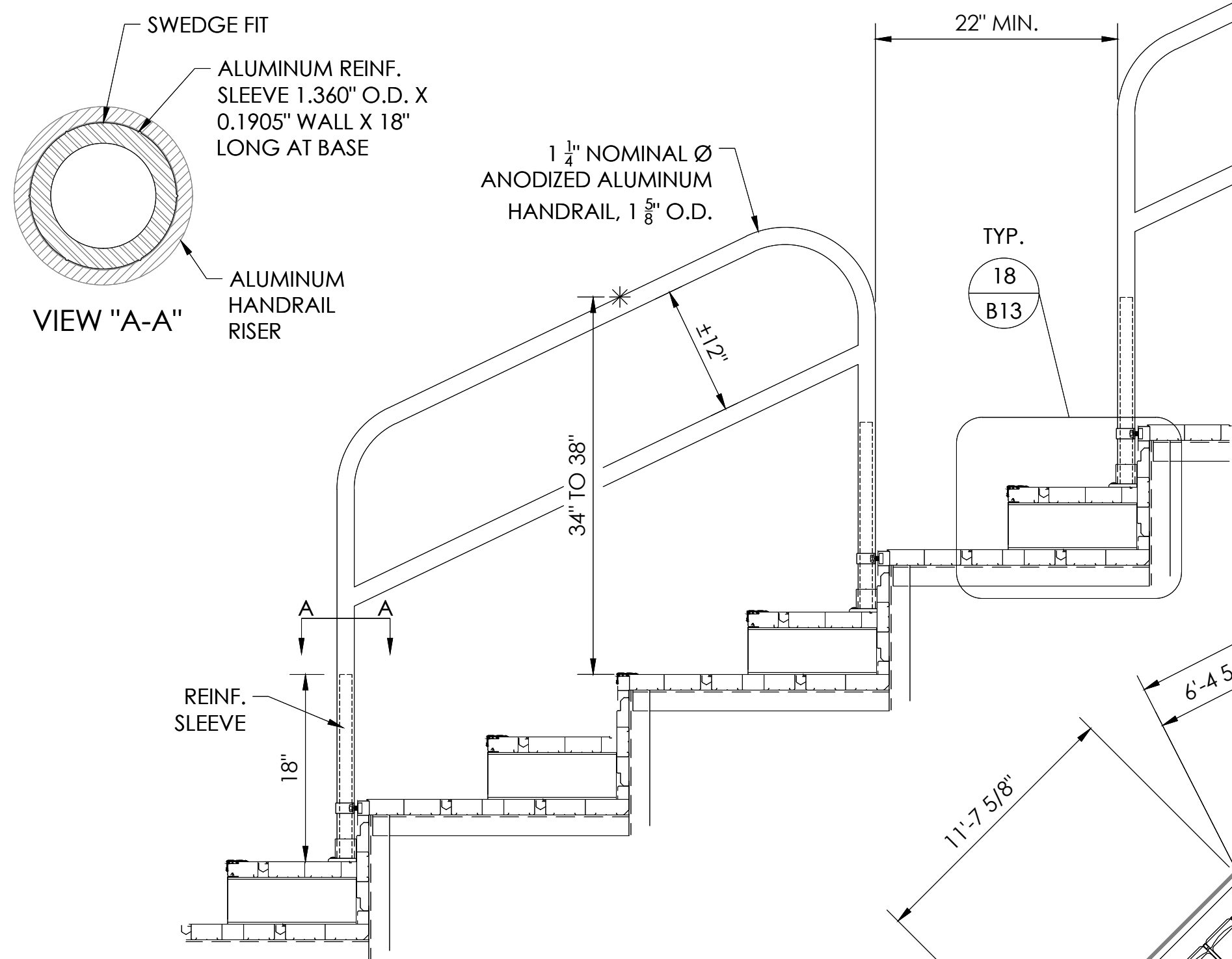
SIGHT LINES
14" RISE X 33" TREAD / MITERED (11 ROWS)
SHADOW MOUNTAIN PARK COMMUNITY CHURCH
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EL CAJON, CALIFORNIA

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10/13/21	VK	DMC	

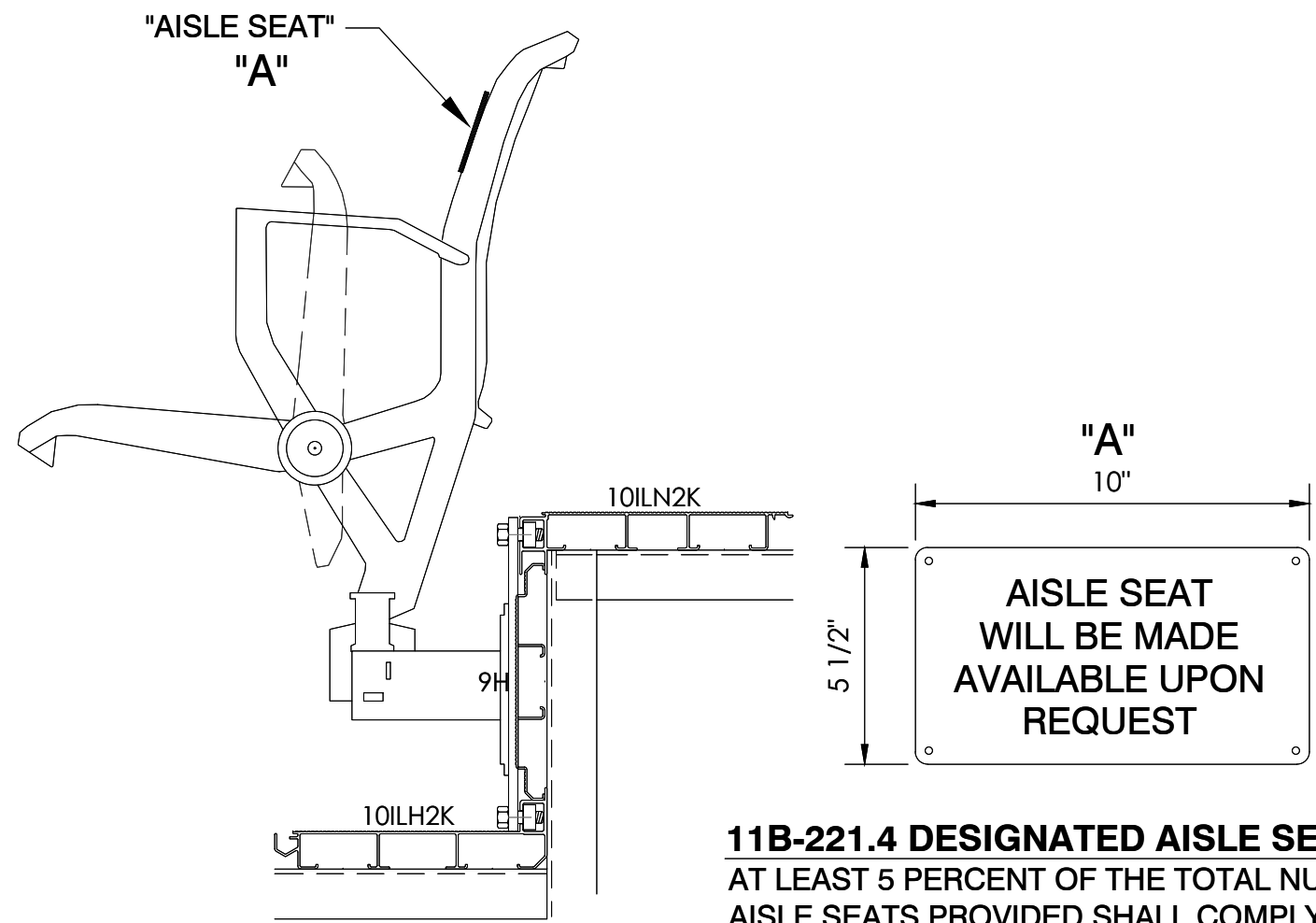
JOB NUMBER
#21295
SHEET
B8 OF
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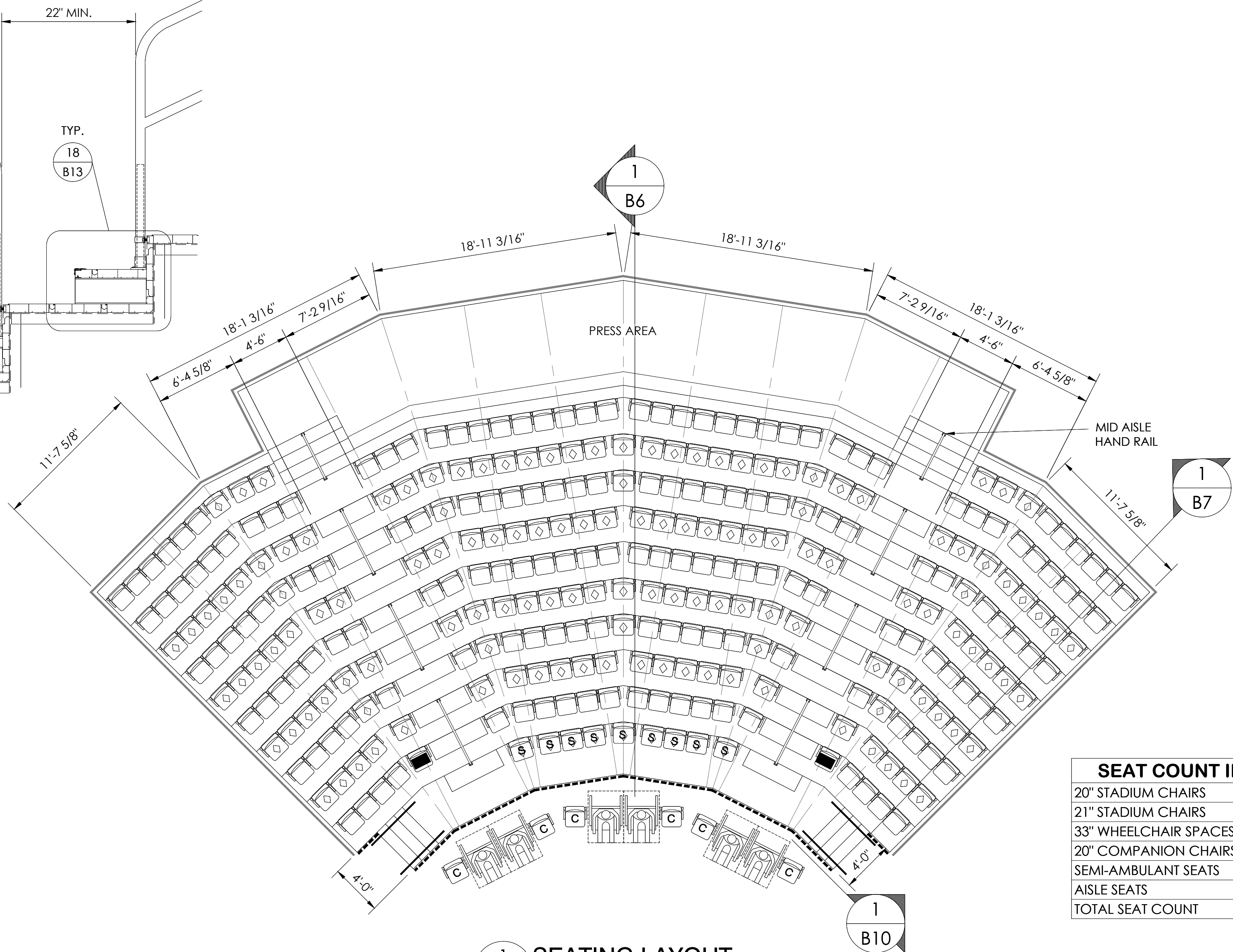
22" X 34" (11x17
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4 MID-AISLE INSTALLATION DETAIL
B9 NOT TO SCALE

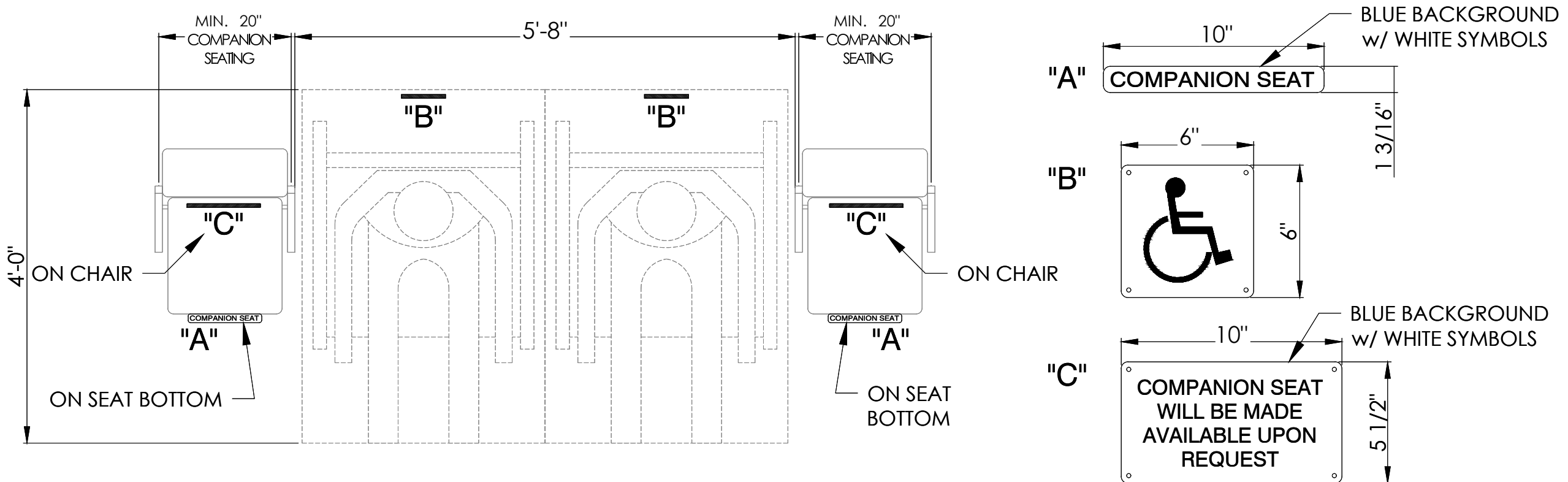


2 DESIGNATED AISLE SEATS
B9 NOT TO SCALE



1 SEATING LAYOUT
B9 SCALE: 3/16" = 1'-0"

SEAT COUNT INFORMATION		
20" STADIUM CHAIRS		162
21" STADIUM CHAIRS		140
33" WHEELCHAIR SPACES		6
20" COMPANION CHAIRS	C	6
SEMI-AMBULANT SEATS	S	9
AISLE SEATS		2
TOTAL SEAT COUNT		319

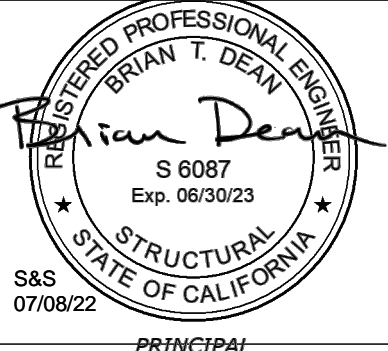


3 SIGN DETAIL
B9 NOT TO SCALE

SIGNAGE TYP. @ WHEELCHAIR AREAS
A = COMPANION: 1 3/16" X 10" PLASTIC
B = ACCESSIBLE: 6" X 6" 0.040 ALUM.
C = COMPANION: 5 1/2" X 10" 0.040 ALUM.

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SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

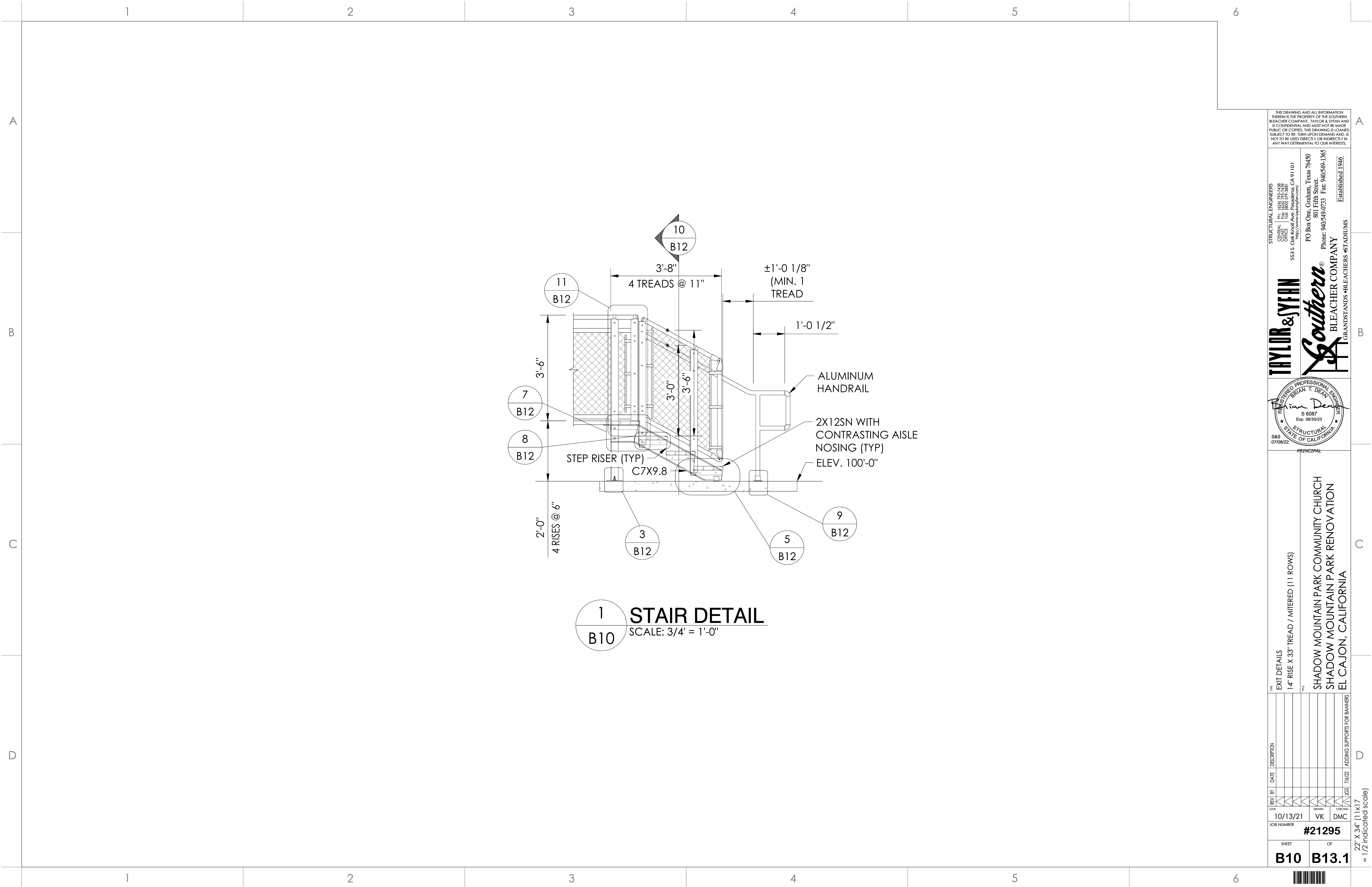
SEATING LAYOUT
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SHEET OF
B9 B13.1



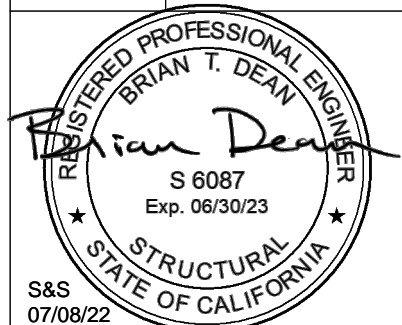
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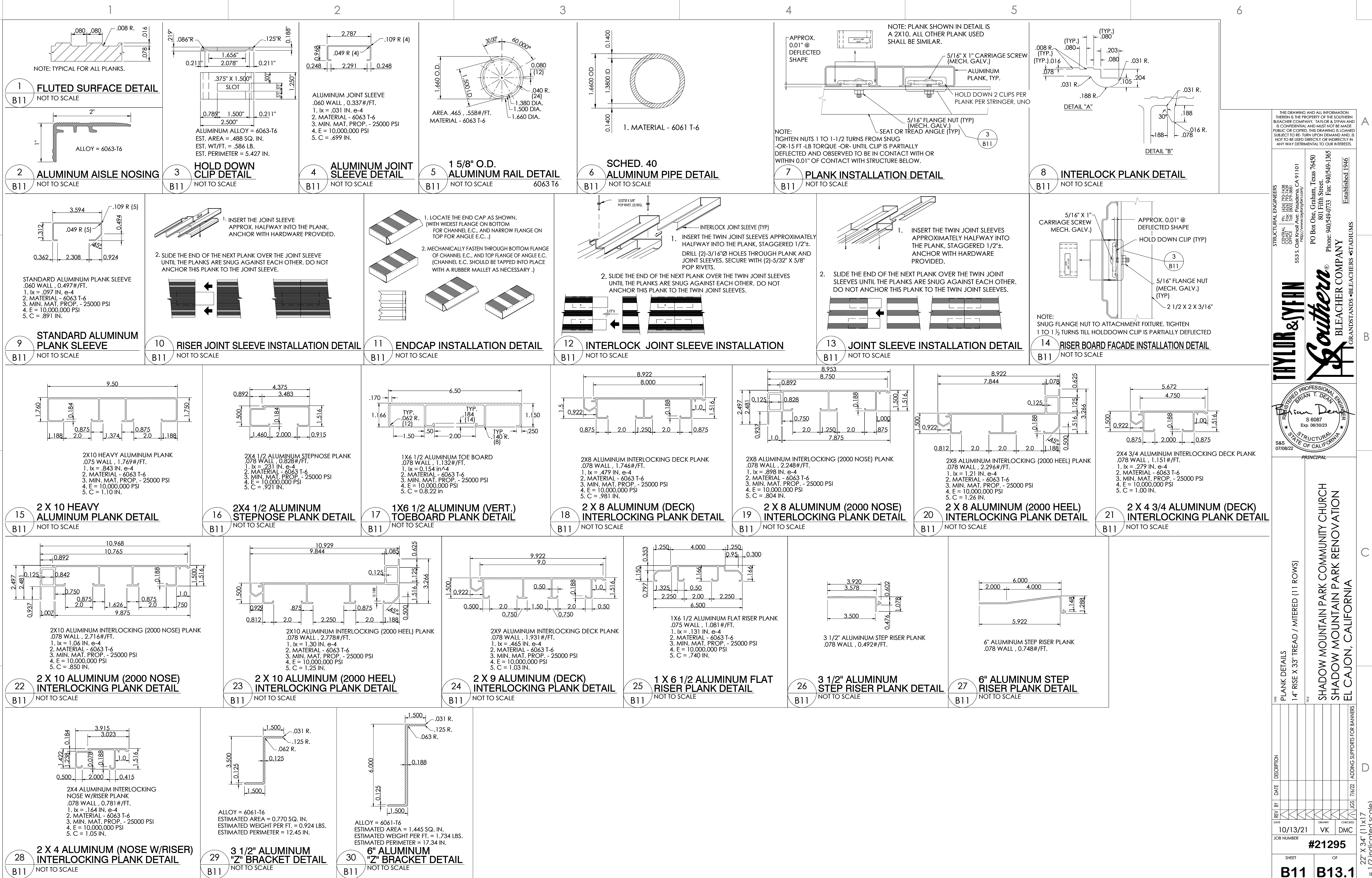
EXIT DETAILS
14" RISE X 33" TREAD / MITERED (11 ROWS)
SHADOW MOUNTAIN PARK COMMUNITY CHURCH
SHADOW MOUNTAIN PARK RENOVATION
EL CAJON, CALIFORNIA

REV.	BY	DATE	DESCRIPTION
1	VK	10/13/21	14" RISE X 33" TREAD / MITERED (11 ROWS)
2	DMC	7/6/22	ADDING SUPPORTS FOR BANNERS

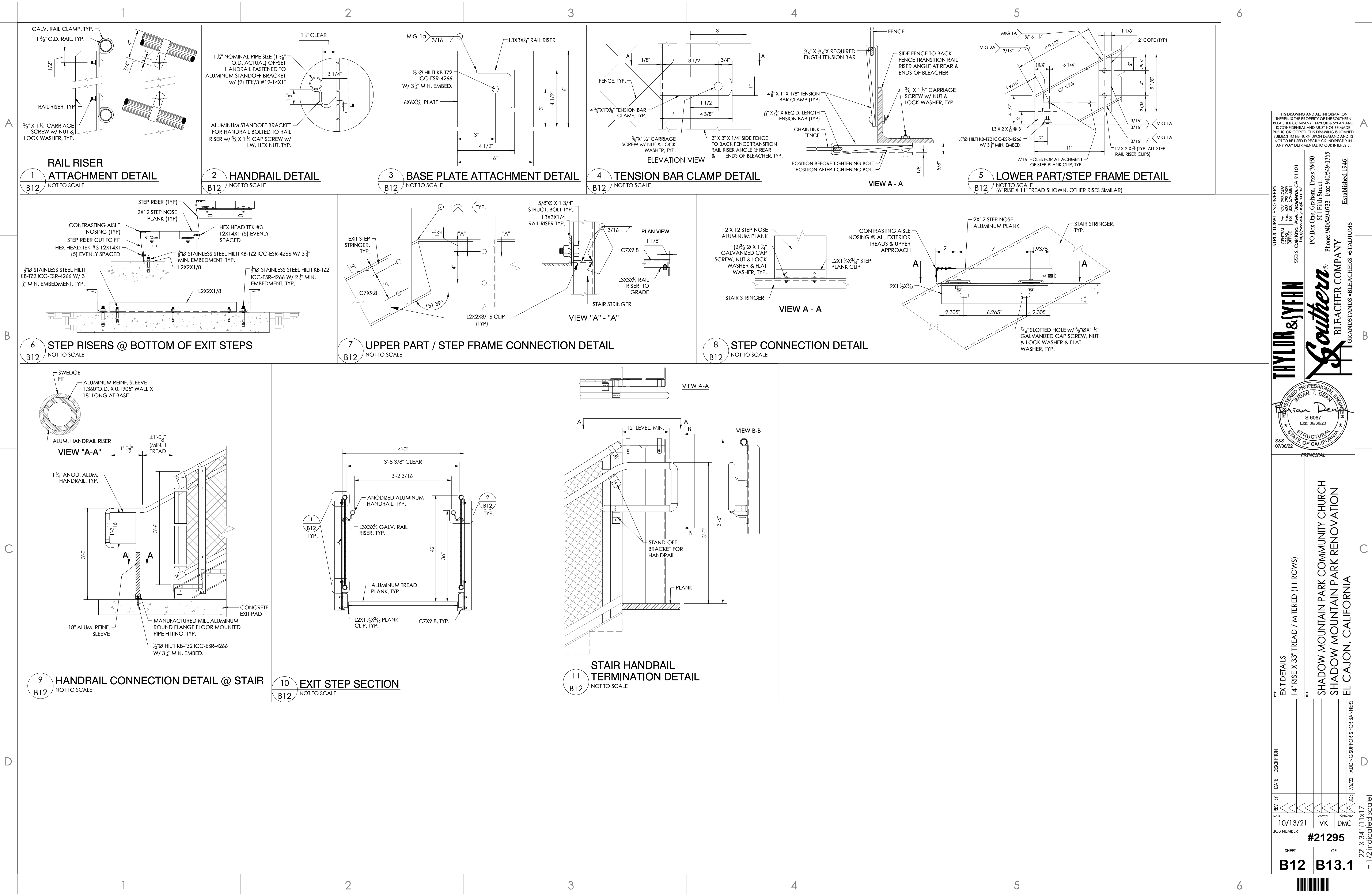
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EXIT DETAILS
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REV	BY	DATE	DESCRIPTION	DATE	BY	DATE	DESCRIPTION
1	JKS	10/13/21	10/13/21	VK	10/13/21	10/13/21	10/13/21
2	DMC	7/6/22	7/6/22	DMC	7/6/22	7/6/22	7/6/22
JOB NUMBER				#21295			
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B12				B13.1			



22" X 34" (11x17
= 1/2 indicated scale)


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Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	3
Project Name:	Appeal of Director's Determination – ALDI Store
Request:	An Appeal of the Director's Denial of a Finding of Public Convenience or Necessity for an Off-Sale Alcohol License
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	CONTINUANCE TO A DATE CERTAIN, OCTOBER 4, 2022
Location:	123 Fletcher Parkway
Applicant:	S. Douglas Kerner; kerner@higgslaw.com
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. Continue the public hearing to a date certain, October 4, 2022

PROJECT DESCRIPTION

This is an appeal of the Community Development Department Director's determination that the public convenience or necessity (PCN) would not be served by the issuance of a State of California, Department of Alcoholic Beverage Control (ABC) Type 20 off-sale alcohol license for a retail grocery store (ALDI Store). The ALDI Store is approximately 24,000 square feet in size and located on the south side of Fletcher Parkway, west of State Route 67, at the Parkway Plaza regional shopping mall, and addressed as 123 Fletcher Parkway.

DISCUSSION

On September 15, 2022, staff received a request for continuance from the applicant's representative, Patrick Batten, to continue the public hearing for this project to a date certain on October 4, 2022. The reason for the request is that the applicant will not be able to attend the September 20, 2022 public hearing due to unforeseen circumstances.

RECOMMENDATION

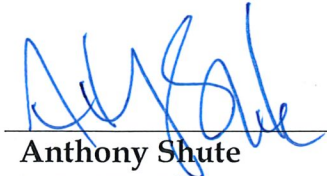
Staff recommends that the Planning Commission open the public hearing and continue the request to a date certain, October 4, 2022.

PREPARED BY:



Noah Alvey
DEPUTY DIRECTOR
OF COMMUNITY
DEVELOPMENT

APPROVED BY:



Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Request for continuance from Patrick Batten dated September 15, 2022

Noah Alvey

From: Patrick Batten <PBatten@swspr.com>
Sent: Thursday, September 15, 2022 2:46 PM
To: Noah Alvey
Subject: Postponement

CAUTION: [EXTERNAL EMAIL] Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Good afternoon Noah,

Due to an illness on our team, I respectfully request that the appeal is postponed from the September 20 Planning Commission hearing to the October 4 meeting.

Please advise if you need any further details.

Thanks,

Patrick Batten
[858-472-3362](tel:858-472-3362) M

PROPOSED RESOLUTION OF INTENTION

A RESOLUTION OF INTENTION TO INITIATE AN AMENDMENT OF THE EL CAJON MUNICIPAL ZONING CODE TO CONSIDER REDEFINING LODGING ESTABLISHMENTS, ALLOWED USES, AND CERTAIN PERFORMANCE STANDARDS.

WHEREAS, the Planning Commission has determined that recent use of lodging establishments in the city has created increased public nuisance activity, including illegal drug use and disturbance of the peace; and

WHEREAS, there is evidence that this nuisance activity has resulted in increased public safety calls for service thereby stressing police and fire department resources; and

WHEREAS, at its meeting of September 20, 2022, the Planning Commission directed staff to initiate an amendment to the El Cajon Zoning Code and return to the Planning Commission as quickly as possible.

NOW, THEREFORE, BE IT RESOLVED that the El Cajon City Planning Commission hereby sets to public hearing the consideration of an amendment of the Zoning Code to redefine lodging establishments, allowed uses, and certain performance standards.

Said hearing will be held on Tuesday, October 4, 2022 at 7:00 p.m. in the Council Chambers at 200 Civic Center Way, El Cajon, California.

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held September, 20, 2022, by the following vote:

AYES:
NOES:
ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary