

City of El Cajon Planning Commission Agenda Tuesday, September 20, 2022 Meeting 7:00 PM

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA, 92020

Please note that, pursuant to State and County Health Orders, in-person meetings have resumed. The public is welcome to attend and participate.

The meeting will be live-streamed through the City website at: <u>https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all</u>.

To submit written comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to <u>planning@elcajon.gov</u> before 5 p.m. on Tuesday, September 20, 2022. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

The City of El Cajon is endeavoring to be in total compliance with the Americans with Disabilities Act. If you require assistance or auxiliary aids in order to participate at the Commission meeting, please contact our office at 619-441-1742, option 3, as soon as possible.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

CONSENT

Agenda Item:	1
	Planning Commission minutes of August 16, 2022

PUBLIC HEARINGS

Agenda Item:	2		
Project Name:	Shadow Mountain Athletic Field Improvements		
Request:	Replacement bleachers and field netting		
CEQA Recommendation:	Exempt		
STAFF RECOMMENDATION:	APPROVE		
Project Number:	Minor Amendment (MA) No. 2022-0008		
Location:	2100 Greenfield Drive		
Applicant:	Trev Holman; trev.holman@shadowmountain.org		
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov		
City Council Hearing Required?	No		
Recommended Actions:	1. Conduct the public hearing; and		
	2. MOVE to adopt the next resolutions in order, approving		
	the CEQA exemption and MA-2022-0008 to Specific Plan		
	No. 523 subject to conditions.		

Agenda Item:	3				
Project Name:	Appeal of Director's Determination – ALDI Store				
Request:	An Appeal of the Director's Denial of a Finding of Public				
	Convenience or Necessity for an Off-Sale Alcohol License				
CEQA Recommendation:	Exempt				
STAFF RECOMMENDATION:	CONTINUANCE TO A DATE CERTAIN, OCTOBER 4, 2022				
Location:	123 Fletcher Parkway				
Applicant:	S. Douglas Kerner; <u>kerner@higgslaw.com</u>				
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov				
City Council Hearing Required?	No				
Recommended Actions:	3. Conduct the public hearing; and				
	4. Continue the public hearing to a date certain, October 4,				
	2022				

4. OTHER ITEMS FOR CONSIDERATION

a. Proposed Resolution of Intention to Amend the Zoning Code for Deemed Approved Lodging Establishments

5. STAFF COMMUNICATIONS

6. COMMISSIONER REPORTS/COMMENTS

7. ADJOURNMENT

This Planning Commission meeting is adjourned to October 4, 2022 at 7 p.m.



MINUTES PLANNING COMMISSION MEETING August 16, 2022

The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Darrin MROZ (Chair) Rebecca POLLACK-RUDE (Vice Chair) Paul CIRCO Anthony SOTTILE Elizabeth VALLES

COMMISSIONERS ABSENT: None

STAFF PRESENT:

Noah ALVEY, Deputy Director of Community Development Barbara LUCK, Staff Attorney Mario SANCHEZ, Deputy Director of Public Works Spencer HAYES, Associate Planner Laura JUSZAK, Administrative Secretary

Chair MROZ opened the Planning Commission meeting explaining the rules of conduct.

PUBLIC COMMENT:

Sherry ASHBAUGH spoke to commissioners regarding City's landscaping requirements.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of July 19, 2022

Motion was made by CIRCO, seconded by POLLACK-RUDE, to approve the July 19, 2022 minutes; motion carried 5-0.

PUBLIC HEARING ITEM:

Agenda Item:	2			
Project Name:	Lexus El Cajon			
Request:	Lexus dealership addition and remodel			
CEQA Recommendation:	Exempt			
STAFF RECOMMENDATION:	APPROVE			
Project Number(s):	Conditional Use Permit No. 2022-0001 (CUP-2022-0001)			
Location:	1000 Arnele Avenue			
Applicant:	Erik Marcussen; Ground Floor Design, Inc.;			
	erik@groundfloordesign.com			
Project Planner:	Spencer Hayes; shayes@elcajon.gov; 619-441-1656			
City Council Hearing Required?	No			
Recommended Actions:	1. Conduct the continued public hearing; and			
	2. MOVE to adopt the next resolutions in order,			
	approving the CEQA exemption and CUP No. 2022-			
	0001, subject to conditions.			

HAYES summarized the staff report through a PowerPoint presentation.

COMMISSIONERS asked questions with HAYES providing answers.

MROZ opened the public hearing.

Motion was made by VALLES, seconded by CIRCO, to close the public hearing; motion carried 5-0.

COMMISSIONERS discussed the item.

Motion was made by CIRCO, seconded by MROZ, to approve Conditional Use Permit No. 2022-0001; motion carried 5-0.

OTHER ITEMS FOR CONSIDERATION

There were none.

STAFF COMMUNICATIONS:

ALVEY notified COMMISSIONERS that TPM-2021-0004 was appealed to City Council.

COMMISSIONER REPORTS/COMMENTS:

There were none.

ADJOURNMENT:

Motion was made by MROZ, seconded by POLLACK-RUDE, to adjourn the meeting of the El Cajon Planning Commission at 7:17 p.m. this 16th day of August, 2022, until 7:00 p.m., Tuesday, September 6, 2022; motion carried 5-0.

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary



Community Development Department PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2			
Project Name:	Shadow Mountain Athletic Field Improvements			
Request:	Replacement bleachers and field netting			
CEQA Recommendation:	Exempt			
STAFF RECOMMENDATION:	APPROVE			
Project Number:	Minor Amendment (MA) No. 2022-0008			
Location:	2100 Greenfield Drive			
Applicant:	Trev Holman; trev.holman@shadowmountain.org			
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov			
City Council Hearing Required?	No			
Recommended Actions:	1. Conduct the public hearing; and			
	2. MOVE to adopt the next resolutions in order,			
	approving the CEQA exemption and MA-2022-0008 to			
	Specific Plan No. 523 subject to conditions.			

PROJECT DESCRIPTION

The proposed project is for improvements to the existing baseball field at Shadow Mountain Community Church ("SMCC") to include replacement of the existing metal bleachers with new metal bleachers and new netting behind home plate. The SMCC campus is located at the corner of East Madison Avenue and Greenfield Drive and addressed as 2100 Greenfield Drive. The baseball field is located in the southeast corner of the property. The proposed project requires a Minor Amendment to Specific Plan No. 523 governing the SMCC campus.

BACKGROUND

On April 20, 2021, the Planning Commission considered and approved a project at the same baseball field that is the subject of the current request. The April 20, 2021 project approval was for the replacement of the existing metal bleachers, including a structure around the bleachers finished in stucco, new netting behind home plate, and an arched entry feature. The current request requires review and approval by the Planning Commission because the new architectural concept is not consistent with the previously approved project.

General Plan:	Parochial School and School Playground/Field
Specific Plan:	Specific Plan No. 523
Zone:	RS-20 (Single-Family Residential, Minimum 20,000 square foot lots)
Other City Plan(s):	Specific Plan No. 523

Project Site & Constraints

The SMCC Campus consists of an east and west campus separated by Greenfield Drive. The project site is located on the east campus, which is approximately 32.3 acres and is currently developed with a church and school facilities.

Surrounding Context

The subject property is located within a predominately-residential neighborhood. Properties surrounding the site are developed and zoned as follows:

Direction	Zones	Land Uses
North (unincorporated area)	RR	Rural Residential
South	RS-20	Residential
East	RS-20	Residential
West (across Greenfield Drive)	RS-20	SMCC West Campus

General Plan

The project site is designated Parochial School and School Playground/Field in the General Plan. This land use is intended for private school facilities.

Zoning Code

The Shadow Mountain Community Church and school is governed by Specific Plan No. 523, which programs the church campus and school facilities with conditions relating to the use of the properties. The Zoning Code allows minor amendments to approved specific plans to allow for minor changes while ensuring consistency with the original public review process and governing entitlement.

DISCUSSION

Minor Amendment Decision

Typically, a Minor Amendment is an administrative decision made at the staff level. Prior to the April 20, 2021 Planning Commission hearing, six community responses were received in response to noticing. In accordance with the Minor Amendment Policy, the project was then elevated to the Planning Commission for a decision. The current request has also been elevated to the Planning Commission based on the previous community responses.

Land Use

SP No. 523 identifies permitted uses of the East Campus to include education and associated activities; the athletic fields including the baseball field with bleachers are identified on the site plan. The proposed project consisting of replacement bleachers and netting behind home plate is consistent with the approved sports field use in SP No. 523. There are no proposed changes to the operations or use of the sports field. No lights are proposed.

Project

The proposed metal bleachers will replace the existing metal bleachers behind home plate for spectators. The existing bleachers provide seating for approximately 190 spectators and are in poor condition. The proposed bleachers would provide seating for up to 300 spectators. The proposed netting is intended to prevent foul balls from leaving the field.

Design

The metal bleachers, including safety railing, will be approximately 19 ft. 6 in. as measured from the playing field. The base on the bleachers will have fabric wrap which will conceal the base of the bleachers. The fabric wrap is depicted in blue on the proposed elevations, but the applicant has indicated that school related graphics may be included on the final fabric wrap. The new netting behind home plate will be 35 feet in height.

Project Modifications

The original project approval on April 20, 2021 (Attachment 6), included a design that complemented the other existing buildings on site by including a structure around the bleachers finished in stucco, as well as an arched entry. The current request has eliminated these features due to construction costs. Even though the current request (Attachment 7) is less elaborate than the originally approved project, it remains consistent with features found at typical school baseball fields. As such, staff is able to find the project modifications consistent with SP No. 523.

Community Concerns

Attendance at games is not anticipated to increase except for special games, playoffs or league championships. The applicant has indicated that baseball games are held a few times per week, Monday through Friday at 4:00 p.m. and on Saturday between 9:00 a.m. and 1:00 p.m. Attendance at games is typically 75 to 125 individuals. The existing church parking lot is used for parking. Due to the number of attendees, traffic and congestion is not experienced currently during games or expected after completion of this project.

FINDINGS

The findings for the Minor Amendment approval are as follows:

A. The proposed minor amendment is consistent with the governing entitlement of which the proposed project is governed by, the El Cajon Zoning Code, and applicable regional document(s)

The proposed project, including the replacement bleachers and field netting, is consistent with Specific Plan No. 523, which identified the baseball field and bleachers on the site plan and specifies that religious and education uses and associated activities are permitted uses on the site.

B. The proposed change does not alter the initial findings to approve the permit.

The proposed project does not alter the original findings to approve the permit. The continued use of this area as the site for a baseball field was part of the original approvals. The operations of the baseball field would not be changed as a result of the project.

C. The proposed minor amendment is consistent with the findings contained in the adopting specific plan ordinance.

Specific Plan No. 523 was adopted in order to provide a comprehensive master plan for the religious and educational facilities at Shadow Mountain Community Church. The Minor Amendment requested to make specific athletic field improvements to enhance the enjoyment of the fields by visitors by providing appropriate seating and enhance safety by adding new netting around home plate is consistent with the findings in the approved Specific Plan.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) according to section 15303, Class 3 (New Construction or Conversion of Small Structures) of the CEQA Guidelines. Section 15303 provides an exemption for a project that involves the construction of a limited number of new, small facilities or structures including accessory or appurtenant structures. The proposed replacement bleachers, netting, and entryway feature are small accessory structures to the primary use of this area for sports field associated with the educational use. None of the exceptions listed under CEQA Guidelines section 15300.2 apply.

PUBLIC NOTICE & INPUT

Notice of this public hearing was mailed on September 1, 2022, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website.

RECOMMENDATION

Staff is recommending approval of MA No. 2021-0001 for the athletic field improvements.

PREPARED BY:

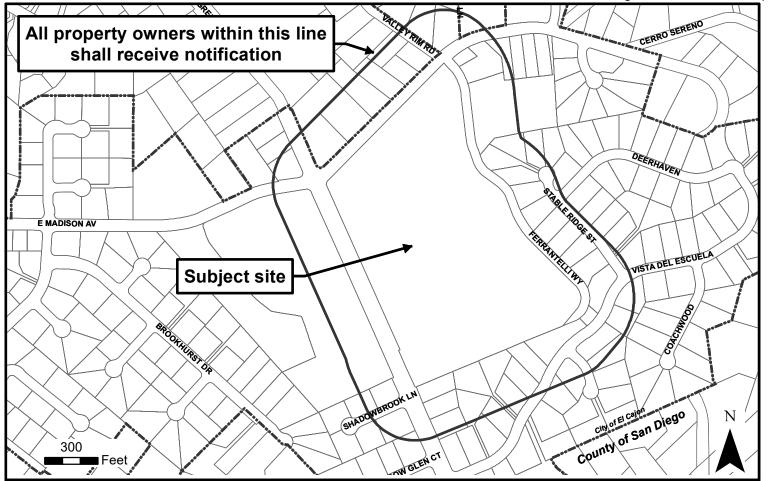
Noah Alvey DEPUTY DIRECTOR OF COMMUNITY DEVELOPMENT **APPROVED BY:**

Anthony Shute DIRECTOR OF COMMUNITY DEVELOPMENT

ATTACHMENTS

- 1. Public Hearing Notice/Location Map
- 2. Proposed Resolution APPROVING CEQA exemption
- 3. Proposed Resolution APPROVING MA No. 2021-0001
- 4. Aerial Photograph of Subject Site
- 5. Application & Disclosure Statement
- 6. April 20, 2021 Project Elevations
- 7. September 20, 2022 Project Elevations and Plans

Public Hearing Notice/Location Map



NOTICE OF PROPOSED MINOR AMENDMENT TO SPECIFIC PLAN SHADOW MOUNTAIN ATHLETIC FIELD IMPROVEMENTS

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at <u>7:00 p.m., Tuesday,</u> <u>September 20, 2022</u> in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

MINOR AMENDMENT NO. 2022-0008 as submitted by Trev Holman on behalf of Shadow Mountain Community Church requesting to permit modifications to the existing athletic field to replace the existing metal spectator stands with larger new metal spectator stands, add new netting, and add new concrete stairs. The subject property is located at the corner of Greenfield Drive and East Madison Avenue and is addressed as 2100 Greenfield Drive. This project has been elevated to a Planning Commission decision and is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all. In an effort to reduce the City's carbon footprint, paper copies will not be provided at the public hearing, but will be available at City Hall in the Project Assistance Center upon request.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at http://www.elcajon.gov/your-government/departments/community-development/planning-division.

If you have any questions, or wish any additional information, please contact **<u>NOAH ALVEY</u>** at 619-441-1795 or via email at nalvey@elcajon.gov and reference "MA-2022-0008" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR MINOR AMENDMENT NO. 2022-0008 TO SPECIFIC PLAN NO. 523 FOR ATHLETIC FIELD IMPROVEMENTS AT SHADOW MOUNTAIN COMMUNITY CHURCH ON THE SOUTHEAST CORNER OF EAST MADISON AVENUE AND GREENFIELD DRIVE IN THE RS-20 ZONE; APN: 512-140-05, GENERAL PLAN DESIGNATION: PAROCHIAL SCHOOL (P) AND SCHOOL PLAYGROUND/PLAYFIELD (SP/P)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on September 20, 2022, to consider Minor Amendment (MA) No. 2028-0008, as submitted by Trev Holman on behalf of Shadow Mountain Community Church, requesting replacement bleachers and baseball netting at the baseball field in the RS-20 zone, on the southeast corner of East Madison Avenue and Greenfield Drive, and addressed as 2100 Greenfield Drive, APN: 512-140-05; and

WHEREAS, in accordance with CEQA Guidelines section 150061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, it is proposed that the project is exempt from CEQA under section 15303, Class 3 (New Construction or Conversion of Small Structures) of CEQA Guidelines, which provides an exemption for a project that involves the construction of a limited number of new, small facilities or structures including accessory or appurtenant structures; and

WHEREAS, the proposed replacement bleachers and netting are small accessory structures to the primary use of this area for sports field associated with the educational use; and

WHEREAS, none of the exemptions listed under CEQA Guidelines section 15300.2 exist; and

WHEREAS, the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed CEQA exemption for the Shadow Mountain Athletic Field Improvements, Minor Amendment No. 2022-0008 to Specific Plan No. 523.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the CEQA exemption.

[The remainder of this page intentionally left blank.]

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held September 20, 2022, by the following vote:

AYES: NOES: ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING MINOR AMENDMENT NO. 2022-0008 TO SPECIFIC PLAN NO. 523 FOR ATHLETIC FIELD IMPROVEMENTS AT SHADOW MOUNTAIN COMMUNITY CHURCH ON THE SOUTHEAST CORNER OF EAST MADISON AVENUE AND GREENFIELD DRIVE IN THE RS-20 ZONE, APN: 512-140-05, GENERAL PLAN DESIGNATION: PAROCHIAL SCHOOL (P) AND SCHOOL PLAYGROUND/PLAYFIELD (SP/P)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on September 20, 2022, to consider Minor Amendment (MA) No. 2022-0008, as submitted by Trev Holman on behalf of Shadow Mountain Community Church, requesting replacement bleachers and baseball netting at the baseball field in the RS-20 zone, on the southeast corner of East Madison Avenue and Greenfield Drive, and addressed as 2100 Greenfield Drive, APN: 512-140-05; and

WHEREAS, the El Cajon Planning Commission approved the next resolution in order approving the California Environmental Quality Act section 15303 exemption; and

WHEREAS, the proposed project is minor in scope and within the screening criteria for a Minor Amendment; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications, and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The proposed project, including the replacement bleachers and field netting are consistent with Specific Plan No. 523, which identified the baseball field and bleachers on the site plan and specifies that religious and education uses and associated activities are permitted uses on the site.
- B. The proposed project does not alter the original findings to approve the permit. The continued use of this area of the site for a baseball field was part of the original approvals. The operations of the baseball field would not be changed as a result of the project.
- C. Specific Plan No. 523 was adopted in order to provide a comprehensive master plan for the religious and educational facilities at Shadow Mountain Community Church. The Minor Amendment requested to make specific athletic field improvements to enhance the enjoyment of the field by visitors by providing

appropriate seating and enhance safety by adding new netting around home plate is consistent with the findings in the approved Specific Plan.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES MA No. 2022-0008 to Specific Plan No. 523 for athletic field improvements, subject to the conditions of approval for Specific Plan No. 523 and the following conditions:

- 1. No field lighting, temporary or permanent, is permitted.
- 2. Any decorative lighting features on the grandstand shall be directed downward, shielded, and shall not spill over onto any adjacent property.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held September, 20, 2022, by the following vote:

AYES: NOES: ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary

Aerial Image

MA-2022-0008

Shadow Mountain Field Improvements





Project Assistance Center PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

AZP			■ MA
Administrative Zoning	Conditional Use Permit	Lot Line Adjustment	Minor Amendment
Permit			
MUP	PRD PRD	PUD	SDP
Minor Use Permit	Planned Residential	Planned Unit	Site Development Plan
	Development	Development	Permit
SP		П ТРМ	TSM
Specific Plan	Substantial	Tentative Parcel Map	Tentative Subdivision
	Conformance Review		Мар
	ZR	Other:	
Variance	Zone Reclassification		

Project Location

Parcel Number (APN):	512-140-05-00

Address: 2100 Greenfield Drive, El Cajon, CA 92109

Nearest Intersection: Madison Ave and Greenfield Drive

Project Description (or attach separate narrative)

Replace (E) metal stands w/300 seat grandstands (2,490 SQ.FT.), Replace (E) concrete stairs w/new S.F. concrete stairs,

Replace (E) impervous surface around grandstands with brick pavers, install (N) netting around home plate with 35'

support poles, and demo existing scores box (80SF) and replace with 6' CMU screen wall

Project Screening Questions			If yes, please describe:
Existing use?	🗌 No	🗌 Yes	
Modification of use?	🗌 No	🗌 Yes	
New development or addition?	🗌 No	Yes	(N) Grandstands, (N) pavers, (N) netting, (N) CMU wall
Existing Structures?	No	Yes	Age of the structures: 60YRS +/-

Demolition or substantial modification proposed to site	No	Yes	Demo of existing stands and stairs
improvements or structures?			
Tenant improvements proposed?	🔳 No	🗌 Yes	
Existing vegetation or trees on site	🗌 No	🗌 Yes	Existing trees to remain
proposed for removal?			
Proposed grading?	🗌 No	🗌 Yes	Proposed quantities of cut and/or fill.

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name:	Shadow Mounta	ain Church	
Contact Name:	Bryan Snow		
Mailing Address:	2100 Grenfield D	rive, El Cajo	n, CA 92109
Phone:	610-440-1802 _E	mail:bryan.snow@s	shadowmountain.org
Interest in Property:	Own	Lease	Option
Project Representativ	ve Information (if different that	n applicant; consultant	t information here)
Company Name:	Hubbell and Hu	bbell Archit	ects
Contact Name:	Drew Hubbell	cense:	
Mailing Address:	1970 Sixth Ave	San Diego	o, CA 92101
Phone:	619-231-0446 _E	mail: drew@hubb	ellandhubbell.com
Property Owner Info	rmation (if different than applic	ant)	
Company Name:			
Contact Name:			
Mailing Address:			
Phone:	E	mail:	

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

200 Civic Center Way | El Cajon | California | 92020 | 619-441-1742 Main | 619-441-1743 Fax Page 2 of 3 chemicals, and is available at <u>http://www.calepa.ca.gov/sitecleanup/corteselist/</u>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List:

<u>Authorization</u>

Applicant Signature¹:

Property Owner Signature²:

Date: Date

- Applicant's Signature: I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies of the City to enter the subject property for inspection purposes.
 Property Owner's Signature: I fort the came as the applicable of the Signature: I fort the came as the applicable of the subject property for inspection purposes.
- 2. Property Owner's Signature: If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. A pre-application is required unless waived by staff.

Conference date:

Application Submittal

To submit your application, it must be done by appointment scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date:



Project Assistance Center PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

AZP			MA
Administrative Zoning	Conditional Use Permit	Lot Line Adjustment	Minor Amendment
Permit			
MUP	PRD PRD	DUD PUD	SDP
Minor Use Permit	Planned Residential	Planned Unit	Site Development Plan
	Development	Development	Permit
SP SP	SCR	Птрм	
Specific Plan	Substantial	Tentative Parcel Map	Tentative Subdivision
	Conformance Review		Мар
VAR	ZR	Other:	<u>.</u>
Variance	Zone Reclassification		

Project Location

Parcel Number (APN):	512-140-05-00
Address:	2100 GREENFIELD DRIVE EL CAJON, CA 92109
Nearest Intersection:	Madison Ave and Greenfield Drive
	2100 GREENFIELD DRIVE EL CAJON, CA 92109

Project Description (or attach separate narrative)

REPLACE (E) METAL STANDS W/ 300 SEAT GRANDSTANDS (~ SQ.FT). REPLACE (E) CONCRETE STAIRS W/ NEW S.F. CONC. STAIRS. NEW ARCHED ENTRY (~SQ.FT).

Project Screening Questions			If yes, please describe:
Existing use?	🗌 No	🗌 Yes	
Modification of use?	🗌 No	🗌 Yes	
New development or addition?	🗌 No	Yes	(N) GRANDSTANDS (N) ARCHED ENTRY
Existing Structures?	🗌 No	F Yes	Age of the structures: 60YRS +/-

Demolition or substantial modification proposed to site	No	Yes 🗌	DEMO EXISTING STANDS W/ REPLACE W/ NEW STANDS, DEMO EXISTING CONCRETE STAIR
improvements or structures?			
Tenant improvements proposed?	🗌 No	🗌 Yes	
Existing vegetation or trees on site	🔳 No	🗌 Yes	EXISTING TREES TO REMAIN
proposed for removal?			
Proposed grading?	No	Yes	Proposed quantities of cut and/or fill.

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name:	SHADOW MOUNTAIN	CHURCH
Contact Name:	•••••	
Mailing Address:		
Phone:	Email:	
Interest in Property:	Own Lease	Option
Project Representati	ive Information (if different than applicant; c	onsultant information here)
Company Name:	HUBBELL AND HUBBE	ELL ARCHITECTS
Contact Name:	DREW HUBBELL License:	
Mailing Address:	1970 SIXTH AVE SAN [DIEGO, CA 92101
Phone:	619-231-0446 Email: DRE	W @HUBBELLANDHUBBELL.COM
Property Owner Info	rmation (if different than applicant)	
Company Name:		
Contact Name:		
Mailing Address:		
Phone:	Email:	

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

200 Civic Center Way | El Cajon | California | 92020 | 619-441-1742 Main | 619-441-1743 Fax Page 2 of 3 chemicals, and is available at <u>http://www.calepa.ca.gov/sitecleanup/corteselist/</u>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application: is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5. is/are contained on the lists compiled pursuant to Government Code Section 65962.5. If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Property Owner Signature²:

Applicant Signature¹:

Date: Date:

- 1. Applicant's Signature: I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
- 2. Property Owner's Signature: If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. A pre-application is required unless waived by staff.

Conference date: WAIVED

Application Submittal

To submit your application, it must be done by appointment scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date:



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

N/A

List the names and address of all persons having any ownership interest in the property involved.

SHADOW MOUNTAIN COMMUNITY CHURCH, INC.

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

N/A

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

N/A

Have you or your agents transacted more than \$500.00 worth of business with any 4. member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.

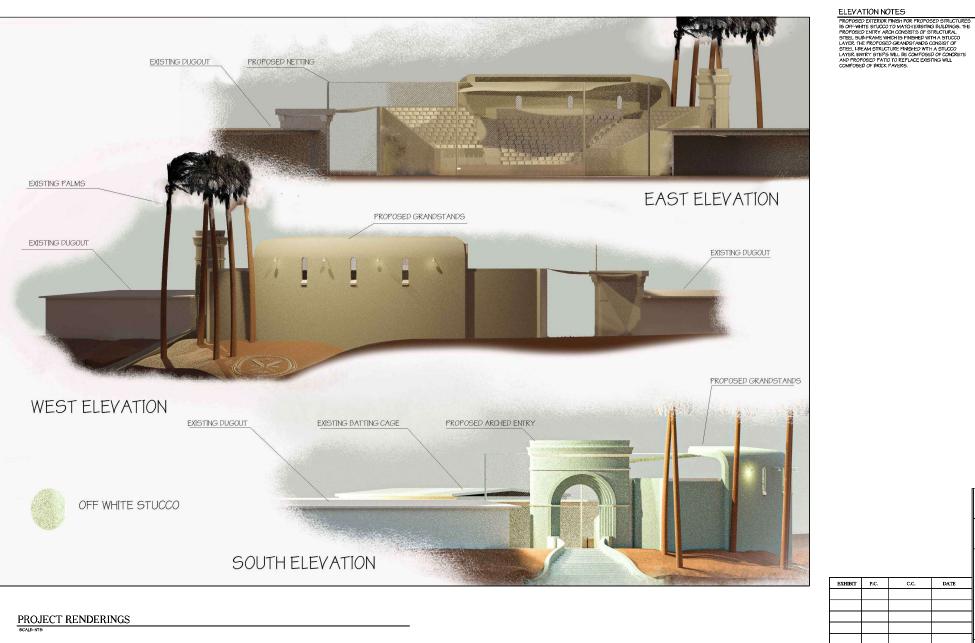
) yan Snow

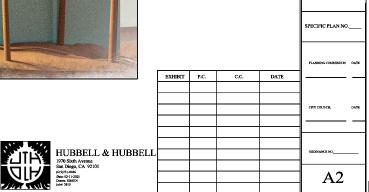
Signature of applicant / date

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.

April 20, 2021 Project Elevations





CITY OF EL CAJON

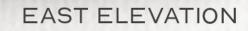


SOUTH ELEVATION

.

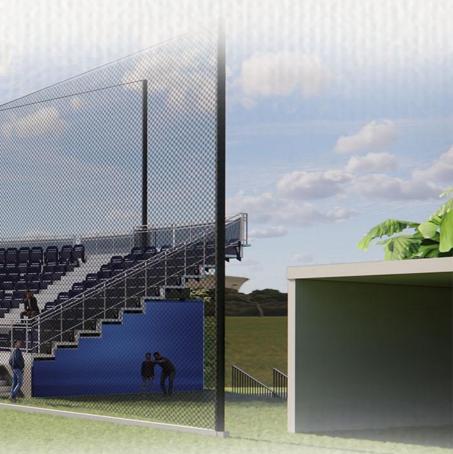
AN I

(ND)



SHADOW MOUNTAIN BALLFIELD

September 20, 2022 Project Elevations and Plans



NORTH ELEVATION

SHADOW MOUNTAIN BALLPARK

TYPICAL ABBREVIATIONS

AB	ANCHOR BOLT	FDN	FOUNDATION	NIC	NOT IN CONTRACT			OWNER CONTAC
AFF ALT AL	ABOVE FLOOR FINISH ALTERNATE ALUMINUM	FN FLR	FINISHED FLOOR	NOM NON-COM	NORMAL	SC S CONC SD	SOLID CORE SEALED CONCRETE	SHADOW MOUN CHURCH
AN	ANODIZED	FLU FP	FLUORESCENT FIREPROOF	NTS OC	NOT TO SCALE ON CENTER	SECT	STORM DRAIN SECTION	2100 GREENFIEL EL CAJON, CA 92
ARCH AT	ARCHITECT ACCOUSTICAL TILE	FURR GA	FURRING GAUGE/GAGE	OD	OVERFLOW DRAIN	SIM S N D	SIMILAR SANITARY NAPKIN DISPENSER	619-440-1802
BD BFC	BOARD BELOW FINISHED CEILING	GAL	GALVANIZED	OD OH	OUTSIDE DIAMETER OPPOSITE HAND	S N DPL	SANITARY NAPKIN DISPOSAL	
BLDG	BUILDING	GALGYB BE GC) GYPSUM BOARD GENERAL CONTRACTOR	OPNG	OPENING	SPECS SS	SPECIFICATIONS STAINLESS STEEL	
BLK BLKG	BLOCK BLOCKING	GI	GALVANIZED IRON	OPP OVHD	OPPOSITE OVERHEAD	S & P	SHELF AND POLE	ARCHITECT
BM	BEAM	gl GMMU	GLASS GLASS MESH MORTAR UNIT	P	PARKING	S/S STD	SERVICE SINK STANDARD	DREW HUBBELL
BOT BTWN	BOTTOM BETWEEN	GR	GRADE	P.A. PART	PLANTING AREA PARTITION	STL	STEEL	HUBBELL AND H ARCHITECTS
BUR	BUILT-UP ROOF	HDCP HOW	HANDICAPPED HOLLOW METAL	PART BD PC	PARTICLE BOARD PRECAST CONCRETE	STRUC SUSP	STRUCTURAL SUSPENDED	1979 6TH AVENU
CB CHAN	CONCRETE BLOCK CHANNEL	HORIZ	HORIZONTAL	PIP	POURED IN PLACE	Т Т & В	TREAD	SAN DIEGO,CA 9 619.231.0446
CI	CAST IRON	HR HT	HOUR HEIGHT	PL P LAM	PLATE PLASTIC LAMINATE	T&G	TOP & BOTTOM TONGUE & GROOVE	019.201.0440
CLG CMP	CEILING CORRUGATED METAL PIPE	HVAC	HEATING, VENT, AIR COND.	PLYWD	PLYWOOD	TEL	TELEPHONE	STRUCTURAL E
CMU	CONCRETE MASONRY UNIT	HWH ID	HOT WATER HEATER	PNL PR	PANEL PAIR	TEMP TD	TEMPERED TRASH DISPOSAL	STRUCTURALE
COL CONC	COLUMN CONCRETE	INSUL	INSULATION OR INSULATING	PSF	POUNDS PER SQUARE FEET	TJ TI T	TOOLED JOINT	LIANNE BELL
CONST	CONSTRUCTION	INT INV	INTERIOR INVERT	PSI PT	POUNDS PER SQUARE INCHES POST TENSIONED	TLT TOC	TOILET TOP OF CONCRETE	PATTERSON EN 928 FORT STOCK
CONT CONTR	CONTINUOUS	JAN	JANITOR	QT	QUARRY TILE	ТОМ	TOP OF MASONRY	SAN DIEGO, CA
CONTR CPT/C	CONTRACTOR CARPET	JST JT	JOIST JOINT	R RA		TOS TOW	TOP OF STEEL TOP OF WALL	,
СТ	CERAMIC TILE	KO	KNOCKOUT	RB	RETURN AIR RUBBER BASE	TOW D	TOWEL DISPENSER	
DBL DET	DOUBLE DETAIL			RD	ROOF DRAIN	TOW DPL TRANSF	TOWEL DISPOSAL TRANSFORMER	
DM	DIMENSION	LAV LH	LAVATORY LEFT HAND	RE: REFL	REFER/REFERENCE REFLECTED OR REFLECTIVE	TYP	TYPICAL	
DN DR	DOWN DOOR			REINF	REINFORCING	VAT VB	VINYL ASBESTOS TILE VAPOR BARRIER	
DWG	DRAWING	LWC MAS	LIGHT WEIGHT CONCRETE MASONRY	REQD RET	REQUIRED RETAINING	VERT	VERTICAL	
E EA	EXISTING EACH	MATL	MATERIAL	REV	REVISION, REVISED	VIF VWC	VERIFY IN FIELD	
EJ	EXPANSION JOINT	MAX MECH	MAXIMUM MECHANICAL	RF RM	RAISED FLOOR ROOM	W/	VINYL WALL COVREING WITH	
EL ELEC	ELEVATION ELECTRICAL	MFCR	MANUFACTURER	RO	ROUGH OPENING	W/O	WITHOUT	
EQ	EQUAL	MH MN	MANHOLE MINIMUM	ROW R T DPL	RIGHT OF WAY RECESSED TRASH DISPOSAL	WC WD	WATER CLOSET WOOD	
EQUIP EXP	EQUIPMENT EXPANSION	MISC	MISCELLANEOUS	R TOW D	RECESSED TOWEL DISPENSER	WF	WALL FABRIC	
EXT	EXTERIOR	MO M	MASONRY OPENING METAL	SAC SAT	SUSPENDED ACOUSTIC CEILING SUSPENDED ACOUSTIC TILE	WP WNDW	WATERPROOFING WINDOW	
FD	FLOOR DRAIN	Ν	NORTH	SB	SPLASHBLOCK	WWF	WELDED WIRE FABRIC	
SYMBO	LS					DN		_
					SPECIAL INSPECTION		YES	
	PLAN NORTH	L	1 REVISION TAG			X	NO	
I.					*SEE SHEET S1 FOR SPEC	CIAL INSPE	CTION REQUIRED.	
Name evation	ELEVATION TAG		? KEYNOTE TAG		OFF-SITE FABRICATION	X	YES	
Ę	CENTER LINE		01 DOOR TAG				NO	
1 A101	SIM SECTION HEAD		GRID BUBBLE		STRUCTURAL OBSE	RVATIO	Ν	
XX					DEFERRED SUBMIT	TAL		
(xx)	OVER HEAD WINDOW TAG						ED SUBMITTAL ITEMS SHALL BE SUE SIONAL IN RESPONSIBLE CHARGE, V	

TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.



PROJECT DIRECTORY

OWNER CONTACT SHADOW MOUNTAIN COMMUNITY CHURCH 2100 GREENFIELD DRIVE EL CAJON, CA 92109 619-440-1802

ARCHITECT DREW HUBBELL HUBBELL AND HUBBELL ARCHITECTS 1979 6TH AVENUE,

STRUCTURAL ENGINEER LIANNE BELL

PATTERSON ENGINEERING 928 FORT STOCKTON DR #201, SAN DIEGO, CA 92103

GRANDSTAND CONSULTANT

JOE HOY SOUTHERN BLEACHER COMPANY PO BOX ONE, GRAHAM, TEXAS 76450 810 FIFTH STREET

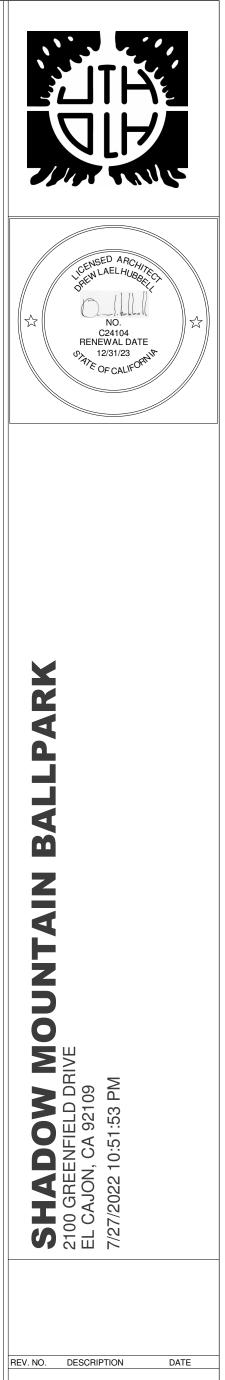
NETTING CONSULTANT

DAN KIRKLAND WEST COAST NETTING DKIRKLAND@WESTCOASTNETTING.COM 800.854.5741

CONTRACTOR

BUILDING DEPARTMENT INFORMATION

PROJECT ADDRESS:	2100 GREENFIELD DRIVE EL CAJON, CA 92109	<u>SETBACKS</u>
APN:	512-140-05-00	FRONT YARD SETBACK:
		INTERIOR SIDEYARD SETBACK:
BUILDING OWNER	SHADOW MOUNTAIN COMMUNITY CHURCH	EXTERIOR SIDEYARD SETBACK:
		REAR YARD SET BACK:
LEGAL DESCRIPTION	BLK 34*LOTS 2 THRU 4*(EX ST)DOC73-53161 IN ST CLSD	
SCOPE OF WORK	ADJ&IN\	CURRENT SEPTIC NUMBER:
1. REPLACE EXISTING METAL STA CAPACITY 2,490 SF GRANDSTAND 2. REPLACE EXISTING IMPERVIOU PERMEABLE BRICK PAVERS	NDS STANDS WITH NEW FIXED 300 SEAT S. S SURFACE AROUND STANDS WITH D HOME PLATE WITH SUPPORT POLES	BUILDING DESCRIPTION:
	80 SF) AND REPLACE W/ 2' CMU SCREEN	LOT AREA
NOTE: NO CHANGES TO EXISTING	BASEBALL FIELD	PROPOSED:
*PLANS FOLOW PREVIOUSLY APP	ROVED PERMIT #MA-2021-0001	
GOVERNING CODES USED IN DES		CONDITIONED AREAS:
2019 CALIFORNIA RESIDENTIAL CO 2019 CALIFORNIA GREEN BUILDIN 2019 CALIFORNIA ELECTRIC CODE 2019 CALIFORNIA MECHANICAL CO 2019 CALIFORNIA PLUMBING CODI 2019 CALIFORNIA FIRE CODE 2019 CALIFORNIA BUILDING ENER	G STANDARDS CODE E DDE E	UNCONDITIONED AREAS: EXISTING:
STANDARDS COUNTY OF SAN DIEGO ORDINAN	CES.	CONDITIONED AREAS:
		UNCONDITIONED AREAS:
BUILDING TYPE:	IV	
OVERLAY ZONE :	GENERAL PLAN LAND USE: SP/P	
COMMUNITY PLAN:	CITY OF EL CAJON	
GENERAL PLAN DESIGNATION:	RANCHO EL CAJON S.	
REGIONAL CATEGORY:		
MAX. ALLOWABLE BLDG. HT:	35'	
FIRE SPRINKLERS:	N/A	



D õ

Ò 92 **HUBBBE** 1970 SIXTH AVE SAN DIEGO, CA 9 (619)-231-0446

TS

SHEET INDEX

20'

12'

25'

32.310 ACRES

2,490 SF NEW BLEACHER AREA

N/A

N/A

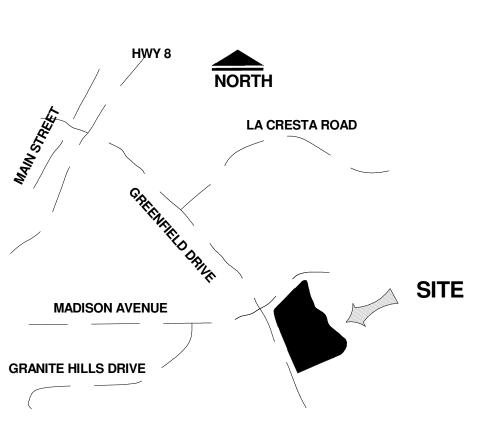
N/A

N/A

N/A

TS	TITLESHEET
G1	GENERAL CONSTRUCTION NOTES
G2	GREEN BUILDING NOTES
G3	COUNTY OF SAN DIEGO NOTES
SP	PLOT PLAN
SP2	SITE PLAN
A1.1	GRANDSTAND PLANS
A2.1	GRANDSTAND ELEVATIONS
A2.2	GRANDSTAND ELEVATIONS
N1	NETTING DESIGN
B1	COVER PAGE
B2	GENERAL NOTES
B3	FOOTING LAYOUT
B3.1	FOOTING DETAILS
B4	UNDERSTRUCTURE LAYOUT
B5	ELEVATION VIEW
B6	SECTION VIEW
B7	SECTION VIEW
B8	SIGHT LINES
B9	SEATING LAYOUT
B10	EXIT DETAILS
B11	PLANK DETAILS
B12	EXIT DETAILS
B13	GRANDSTAND DETAILS
B13.1	GRANDSTAND DETAILS

VICINITY MAP



September 20, 2022 Project Elevations and Plans

COUNTY OF SAN DIEGO - MINIMUM CONSTRUCTION SPECIFICATIONS

Applicable codes. All projects shall comply with the 2019 California Building Code (CBC) and/or California Residential Code (CRC), 2019 California Green Building Standards Code (CalGreen), 2019 California Electrical Code (CEC), 2019 California Mechanical Code (CMC), 2019 California Plumbing Code (CPC), 2019 California Fire Code (CFC), 2019 California Building Energy Efficiency Standards (CBEES), and all County of San Diego amendments.

A. Electrical, Plumbing, and Mechanical

1. Exterior lighting. All projects shall comply with the County of San Diego lighting ordinance. 2. GFCI outlets. Ground Fault Circuit Interrupter (GFCI) outlets are required in bathrooms, at kitchen countertops, at laundry and wet bar

sinks, in garages, in crawlspaces, in unfinished basements, and outdoors. (CEC 210.8) 3. AFCI outlets. Electrical circuits in bedrooms, living rooms, dining

rooms, dens, closets, hallways, or similar rooms must be protected by Arc Fault Circuit Interrupters (AFCI). (CEC 210.12) 4. Luminaire requirements. Installed luminaires shall meet the efficacy

and fixture requirements of CBEES 150.0(k). 5. Smoke detectors in building remodels. Smoke detectors are required in each existing sleeping room, outside each separate sleeping area in the immediate vicinity of sleeping rooms, and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R314.3)

6. Carbon monoxide detectors in building remodels. Carbon monoxide detectors are required outside each separate sleeping area in the immediate vicinity of sleeping rooms and on each story of a dwelling including basements. Battery-operated detectors are acceptable in existing areas with no construction taking place and in alterations not resulting in removal of interior wall or ceiling finishes and without access via an attic, crawl space, or basement. (CRC R315.3)

7. Water heater seismic strapping. Minimum two 3/4-inch-by-24-gauge straps required around water heaters, with 1/4-inch-by-3-inch lag bolts attached directly to framing. Straps shall be at points within upper third and lower third of water heater vertical dimension. Lower connection shall

occur minimum 4 inches above controls. (CPC 507.2) 8. Gas appliances in garages. Water heaters and heating/cooling equipment capable of igniting flammable vapors shall be placed on minimum 18-inch-high platform unless listing report number provided showing ignition-resistant appliance. (CPC 507.13 and CMC 305.1)

9. Impact protection of appliances. Water heaters and heating/cooling equipment subject to vehicular impact shall be protected by bollards or an equivalent measure. (CPC 507.13.1 and CMC 305.11) **10. Water closet clearance.** Minimum 30-inch-wide by 24-inch-deep clearance required at front of water closets. (CPC 402.5)

11. Shower size. Shower compartments shall have minimum area of 1024 square inches and be able to encompass a 30-inch-diameter circle. Shower doors shall have a minimum 22-inch unobstructed width. (CPC 408.5 and CPC 408.6)

12. Fireplace appliances. Fireplaces with gas appliances are required to have the flue damper permanently fixed in the open position and fireplaces with LPG appliances are to have no 'pit' or 'sump' configurations. (CMC 303.7.1)

13. Chimney clearance. Minimum 2-foot chimney clearance required above building within 10-foot horizontally of chimney. The chimney shall extend minimum 3 feet above highest point where chimney passes through roof. (CRC R1003.9)

C. Mechanical Ventilation and Indoor Air Quality (ASHRAE 62.2-2010)

1. **Transfer air.** Ventilation air shall be provided directly from the outdoors and not as transfer air from adjacent dwelling units or other spaces, such as garages, unconditioned crawlspaces, or unconditioned

attics. (CBEES 150.0(o)) 2. Instructions and labeling. Ventilation system controls shall be labeled and the home owner shall be provided with instructions on how to

operate the system. (CBEES 150.0(o)) 3. Combustion and solid-fuel burning appliances. Combustion

appliances shall be properly vented and air systems shall be designed to prevent back drafting. (CBEES 150.0(o))

4. Garages. The wall and openings between occupiable spaces and the garage shall be sealed. HVAC systems that include air handlers or return ducts located in garages shall have total air leakage of no more than 6% of total fan flow when measured at 0.1 in. w.c. using California Title 24 or equivalents. (CBEES 150.0(o))

5. Minimum filtration. Mechanical systems supplying air to occupiable space through ductwork shall be provided with a filter having a minimum efficiency of MERV 6 or better. (CBEES 150.0(o))

6. Air inlets. Air inlets (not exhaust) shall be located away from known contaminants. (CBEES 150.0(o))

7. Air moving equipment. Air moving equipment used to meet either the whole-building ventilation requirement or the local ventilation exhaust requirement shall be rated in terms of airflow and sound. (CBEES 150.0(o))

a. All continuously operating fans shall be rated at a

maximum of 1.0 sone. **b.** Intermittently operated whole-building ventilation fans

shall be rated at a maximum of 1.0 sone. c. Intermittently operated local exhaust fans shall be rated at

maximum of 3.0 sone. d. Remotely located air-moving equipment (mounted

outside of habitable spaces) need not meet sound requirements if at least 4 feet of ductwork between fan and intake grill.

D. Foundation and Underfloor

1. Foundation reinforcement. Continuous footings and stem walls shall be provided with a minimum two longitudinal No. 4 bars, one at the top and one at the bottom of the footing. (CRC R403.1.3.3) 2. Shear wall foundation support. Shear walls shall be supported by

continuous foundations. (CRC 403.1.2) 3. Concrete slabs-on-grade. Slabs-on-grade shall be minimum 3-1/2-

inches thick. (CRC R506.1)

4. Vapor retarder. A 6-mil polyethylene or approved vapor retarder with joints lapped minimum 6 inches shall be placed between a concrete slabon-grade and the base course or subgrade. (CRC 506.2.3) 5. Anchor bolts and sills. Foundation plates or sills shall be bolted or

anchored to the foundation or foundation wall per the following (CRC R403.1.6 and CRC R602.11.1):

a. Minimum 1/2-inch-diameter steel bolts **b.** Bolts embedded at least 7 inches into concrete or

masonry

c. Bolts spaced maximum 6 feet on center

d. Minimum two bolts per plate/sill piece with one bolt located maximum 12 inches and minimum 7 bolt diameters from each end of each sill plate/piece

e. Minimum 3-inch by 3-inch by 0.299-inch steel plate washer between sill and nut on each bolt

6. Hold-downs. All hold-downs must be tied in place prior to foundation inspection.

7. Protection of wood against decay. Naturally durable or preservative-treated wood shall be provided in the following locations (CRC R317.1):

> a. All wood in contact with ground, embedded in concrete in direct contact with ground, or embedded in concrete exposed to weather

> **b.** Wood joists within 18 inches and wood girders within 12 inches of the exposed ground in crawl spaces shall be of naturally durable or preservative-treated wood

> c. Wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from exposed earth shall be of naturally durable or preservativetreated wood

> **d.** Wood framing, sheathing, and siding on the exterior of the building and having clearance less than 6 inches from the exposed ground or less than 2 inches vertically from concrete steps, porch slabs, patio slabs, and similar horizontal surface exposed to weather e. Sills and sleepers on concrete or masonry slab in direct

contact with ground unless separated from such slab by impervious moisture barrier

D. Foundation and Underfloor (Continued) f. Ends of wood girders entering masonry or concrete walls with clearances

less than 1/2 inch on tops, sides, and ends **g.** Wood structural members supporting moisture-permeable floors or roofs exposed to weather, such as concrete or masonry slabs, unless separated from

such floors or roofs by an impervious moisture barrier **h.** Wood furring strips or other wood framing members attached directly to interior of exterior concrete or masonry walls below grade except where vapor retarder applied between wall and furring strips or framing members 8. Underfloor ventilation. Underfloor areas shall have ventilation openings through foundation walls or exterior walls, with minimum net area of ventilation openings of 1 square foot for each 150 square feet of underfloor area. On such ventilating opening shall be within 3 feet of each corner of the building. (CRC R408.1)

9. Underfloor access. Underfloor areas shall be provided with a minimum 18inch by 24-inch access opening. (CRC R408.4)

E. Wood Framing

1. **Fastener requirements.** The number, size, and spacing of fasteners connecting wood members/elements shall not be less than that set forth in CRC Table R602.3(1). (CRC R502.9, CRC R602.3, and CRC R802.2) 2. Stud size, height, and spacing. The size, height, and spacing of studs shall be in accordance with CRC Table R602.3(5). (CRC R602.3.1)

3. Sill plate. Studs shall have full bearing on nominal 2-inch thick or larger sill plate with width at least equal to stud width. (CRC R602.3.4) 4. Bearing studs. Where joists, trusses, or rafters are spaced more than 16 inches on center and the bearing studs below are spaced 24 inches on center,

such members shall bear within 5 inches of the studs beneath. (CRC R602.3.3) **5.** Drilling and notching of studs. Any stud in an exterior wall or bearing partition may be cut or notched to a depth not exceeding 25% of its width. Studs in nonbearing partitions may be notched to a depth not to exceed 40% of a single stud width. Any stud may be bored or drilled, provided the diameter of the resulting hole is no more than 60% of the stud width, the edge of the hole is no more than 5/8 inch to the edge of the stud, and the hole is not located in the same section as a cut or notch. Studs located in exterior wall or bearing partitions drilled over 40% and up to 60% shall also be doubled with no more than two successive studs bored. (CRC R602.6)

6. Top plate. Wood stud walls shall be capped with a double top plate installed to provide overlapping at corners and at intersections with other partitions. End joints in double top plates shall be offset at least 24 inches. Joints in plates need not occur over studs. Plates shall be minimum nominal 2 inches thick and have width at least equal to width of studs. (CRC R602.3.2) 7. **Top plate splices.** Top plate lap splices shall be face-nailed with minimum 8

16d nails on each side of splice. (CRC R602.10.8.1) 8. Drilling and notching of top plate. When piping or ductwork is placed in or partly in an exterior wall or interior load-bearing wall, necessitating cutting, drilling, or notching of the top plate by more than 50% of its width, a galvanized metal tie not less than 0.054-inch thick and 1-1/2-inches wide shall be fastened

across and to the plate at each side of the opening with not less than 8 10d nails having a minimum length of 1-1/2 inches at each side or equivalent. The metal tie must extend minimum 6 inches past the opening. (CRC R602.6.1) 9. Cripple walls. Foundation cripple walls shall be framed of studs not less in size than the studding above. Cripple walls more than 4 feet in height shall have

studs sized as required for an additional story. Cripple walls with stud height less than 14 inches shall be sheathed on at least one side with a wood structural panel fastened to both the top and bottom plates in accordance with Table R602.3(1), or the cripple walls shall be constructed of solid blocking. Cripple walls shall be supported on continuous foundations. (CRC R602.9) **10. Wall bracing.** Buildings shall be braced in accordance with the methods allowed per CRC R602.10.2, CRC R602.10.4, and/or CRC R602.10.5. 11. Braced wall line spacing. Spacing between braced wall lines shall not

exceed 20 feet or alternate provisions of CRC R602.10.1.3. **12. Shear wall cumulative length.** The cumulative length of shear walls within each braced wall line shall meet the provisions of CRC Table R602.10.3(1) for wind loads and CRC Table R602.10.3(2) for seismic loads. (CRC R602.10.1.1) 13. Shear wall spacing. Shear walls shall be located not more than 25 feet on center. (CRC R602.10.2.2)

14. Shear wall offset. Shear walls may be offset out-of-plan not more than 4 feet from the designated braced wall line and not more than 8 feet from any other offset wall considered part of the same braced wall line. (CRC R602.10.1.2) **15.** Shear wall location. Shear walls shall be located at the ends of each braced wall line or meet the alternate provisions of CRC R602.10.2.2. **16.** Individual shear wall length. Shear walls shall meet minimum length

requirements of CRC R602.10.6.5.1. **17. Cripple wall bracing.** Cripple walls shall be braced per CRC R602.10.11. **18.** Shear wall and diaphragm nailing. All shear walls, roof diaphragms, and s shall be nailed to supporting construction per CRC Table R602.3(1). (CRC R604.3)

19. Shear wall joints. All vertical joints in shear wall sheathing shall occur over, and be fastened to, common studs. Horizontal joints in shear walls shall occur over, and be fastened to, minimum 1-1/2-inch-thick blocking. (CRC R602.10.10) **20. Framing over openings.** Headers, double joists, or trusses of adequate size to transfer loads to vertical members shall be provided over window and door openings in load-bearing walls and partitions. (CBC 2304.3.2)

21. Joists under bearing partitions. Joists under parallel bearing partitions shall be of adequate size to support the load. Double joists, sized to adequately support the load, that are separated to permit the installation of piping or vents shall be full-depth solid-blocked with minimum 2-inch nominal lumber spaced at maximum 4 feet on center. Bearing partitions perpendicular to joists shall not be offset from supporting girders, walls, or partitions more than the joist depth unless such joists are of sufficient size to carry the additional load. (CRC R502.4)

22. Joists above or below shear walls. Where joists are perpendicular to a shear wall above or below, a rim joist, band joist, or blocking shall be provided along the entire length of the shear wall. Where joists are parallel to a shear wall above or below, a rim joist, end joist, or other parallel framing shall be provided directly above and/or below the shear wall. Where a parallel framing member cannot be located directly above and/or below the shear wall, full-depth blocking at 16-inch spacing shall be provided between the parallel framing members to each side of the shear wall. (CRC R602.10.8)

23. Floor member bearing. The ends of each floor joist, beam, or girder shall have minimum 1-1/2 inches of bearing on wood or metal and minimum 3 inches of bearing on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjoining stud or by the use of approved joist hangers. (CRC R502.6)

24. Floor joist lap. Floor joists framing opposite sides over a bearing support shall lap minimum 3 inches and shall be nailed together within minimum 3 10d face nails. A wood or metal splice with strength equal to or greater than that provided by the lap is permitted. (CRC R502.6.1)

25. Floor joist-to-girder support. Floor joists framing into the side of a wood girder shall be supported by approved framing anchors or on ledger strips minimum nominal 2 inches by 2 inches. (CRC R502.6.2) 26. Floor joist lateral restraint. Floor joists shall be supported laterally at ends

and each intermediate support by minimum 2-inch full-depth blocking, by attachment to full-depth header, band joist, or rim joist, to an adjoining stud, or shall be otherwise provided with lateral support to prevent rotation. (CRC R502.7) **27. Floor joist bridging.** Floor joists exceeding nominal 2 inches by 12 inches shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch strip nailed across the bottom of joists perpendicular to joists at maximum 8-foot intervals. (CRC R502.7.1)

28. Framing of floor openings. Openings in floor framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the floor joist. Single trimmer joists may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the

trimmer joists and header joist shall be doubled and of sufficient cross section to support the floor joists framing into the header. Approved hangers shall be used for the header-joist-to-trimmer-joist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips minimum 2 inches by 2 inches. (CRC R502.10)

E. Wood Framing (Continued) **29.** Girders. Girders for single-story construction or girders supporting loads from a single floor shall not be less than 4 inches by 6 inches for spans 6 feet or less, provided that girders are spaced not more than 8 feet on center. Other girders shall be designed to support the loads specified in the CBC. Girder end joints shall occur over supports. When a girder is spliced over a support, an adequate tie shall be provided. The ends of beams or girders supported on masonry or concrete shall not have less than 3 inches of bearing. (CBC 2308.7) **30.** Ridges, hips, and valleys. Rafters shall be framed to a ridge board or to each other with a gusset plate as a tie. Ridge boards shall be minimum 1-inch nominal thickness and not less in depth than the cut end of the rafter. At all valley and hips, there shall be a valley or hip rafter not less than 2-inch nominal thickness and not less in depth than the cut end of the rafter. Hip and valley rafters shall be supported at the ridge by a brace to a bearing partition or be designed to carry and distribute the specific load at that point. Where the roof pitch is less than 3:12 slope (25% gradient), structural members that support rafters and ceilings joists, such as ridges, hips, and valleys, shall be designed

as beams. (CRC R802.3) **31.** Ceiling joist and rafter connections. Ceiling joists and rafters shall be nailed to each other per CRC Table R802.5.1(9), and the rafter shall be nailed to the wall top plate per CRC Table R602.3(1). Ceiling joists shall be continuous or securely joined per CRC Table R802.5.1(9) where they meet over interior partitions and are nailed to adjacent rafters to provide a continuous tie across the building when such joists are parallel to rafters. Where ceiling joists are not connected to the rafters at the wall top plate, joists connected higher in the attic shall be installed as rafter ties, or rafter ties shall be installed to provide a continuous tie. Where ceiling joists are not parallel to rafters, rafter ties shall be installed. Rafter ties shall be minimum 2 inches by 4 inches nominal, installed per CRC Table R802.5.1(9), or connections of equivalent capacities shall be provided. Where ceilings joists or rafter ties are not provided, the ridge formed by these rafters shall be supported by a wall or engineer-designed girder. (CRC R802.3.1)

32. Ceiling joists lapped. Ends of ceiling joists shall be lapped minimum 3 inches or butted over bearing partitions or beams and toenailed to the bearing element. Where ceiling joists provide resistance to rafter thrust, lapped joists shall be nailed together per CRC Table R602.3(1) and butted joists shall be tied together in a manner to resist such thrust. (CRC R802.3.2) **33.** Collar ties. Collar ties or ridge straps to resist wind uplift shall be connected in the upper third of the attic space. Collar ties shall be a minimum 1 inch by 4 inches nominal and spaced at maximum 4 feet on center. (CRC R802.3.1)

34. Purlins. Purlins installed to reduce the span of rafters shall be sized not less than the required size of the rafters they support. Purlins shall be continuous and shall be supported by 2-inch-by-4-inch nominal braces installed to bearing walls at a minimum 45-degree slope from horizontal. The braces shall be spaced maximum 4 feet on center with a maximum 8-foot unbraced lenath. (CRC R802.5.1)

35., Roof/ceiling member bearing., The ends of each rafter or ceiling joist shall have not less than 1-1/2 inches of bearing on wood or metal and not less than 3 inches of bearing on masonry or concrete. (CRC R802.6) **36.** Roof/ceiling member lateral support. Roof framing members and ceiling joists with a nominal depth-to-thickness ratio exceeding 5:1 shall be provided with lateral support at points of bearing to prevent rotation. (CRC R802.8) 37. Roof/ceiling bridging. Rafters and ceiling joists with a nominal depth-tothickness ratio exceeding 6:1 shall be supported laterally by solid blocking, diagonal bridging (wood or metal), or a continuous 1-inch-by-3-inch wood strip nailed across the rafters or ceiling joists at maximum 8-foot intervals. (CRC R802.8.1)

38. Framing of roof/ceiling openings. Openings in roof and ceiling framing shall be framed with a header and trimmer joists. When the header joist span does not exceed 4 feet, the header joist may be a single member the same size as the ceiling joist or rafter. Single trimmer joists may be used to carry a single header joist located within 3 feet of the trimmer joist bearing. When the header joist span exceeds 4 feet, the trimmer joists and header joist shall be doubled and of sufficient cross section to support the ceiling joists or rafters framing into the header. Approved hangers shall be used for the header-joist-to-trimmerjoist connections when the header joist span exceeds 6 feet. Tail joists over 12 feet long shall be supported at the header by framing anchors or on ledger strips; minimum 2 inches by 2 inches. (CRC R502.10)

39. Roof framing above shear walls. Rafters or roof trusses shall be connected to top plates of shear walls with blocking between the rafters or trusses. (CRC R602.10.8) 40. Roof diaphragm under fill framing. Roof plywood shall be continuous under California fill framing. 41. Roof diaphragm at ridges. Minimum 2-inch nominal blocking required for roof diaphragm nailing at ridges. 42., Blocking of roof trusses. Minimum 2-inch nominal blocking required between trusses at ridge lines and at points of bearing at exterior walls. **43.** Truss clearance. Minimum 1/2-inch clearance required between top plates of interior non-bearing partitions and bottom chords of trusses. 44. Drilling, cutting, and notching of roof/floor framing. Notches in solid lumber joists, rafters, blocking, and beams shall not exceed one-sixth the member depth, shall be not longer than one-third the member depth, and shall not be located in the middle one-third of the span. Notches at member ends shall not exceed one-fourth the member depth. The tension side of members 4 inches or greater in nominal thickness shall not be notched except at member ends. The diameter of holes bored or cut into members shall not exceed onethird the member depth. Holes shall not be closer than 2 inches to the top or bottom of the member or to any other hole located in the member. Where the member is also notched, the hole shall not be closer than 2 inches to the notch.

(CRC R502.8.1) 45. Exterior landings, decks, balconies, and stairs. Such elements shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal. (CRC R311.3)

46. Fireblocking. Fireblocking shall be provided in the following locations (CRC; R302.11 and CRC R1003.19): a. In concealed spaces of stud walls and partitions, including furred spaces,

Vertically at the ceiling and floor levels; ii. Horizontally at intervals not exceeding 10 feet

b. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings, and cove ceilings; c. In concealed spaces between stair stringers at the top and bottom of the

d. At openings around vents, pipes, ducts, cables and wires at ceiling and floor level, with an approved material to resist the free passage of flame and products of combustion e. At chimneys and fireplaces per item E.49

. Cornices of a two-family dwelling at the line of dwelling-unit separation **47. Fireblocking materials.** Except as otherwise specified in items E.48 and E.49, fireblocking shall consist of the following materials with the integrity maintained (CRC R302.11.1):

a. Two-inch nominal lumber **b.** Two thicknesses of one-inch nominal lumber with broken lap joints; c. One thickness of 23/32-inch wood structural panel with joints backed by 23/32-inch wood structural panel **d.** One thickness of 3/4-inch particleboard with joints backed by 3/4-inch particleboard

e. 1/2-inch gypsum board 1/4-inch cement-based millboard

g. Batts or blankets of mineral or glass fiber of other approved materials installed in such a manner as to be securely retained in place. Batts or blankets of mineral or glass fiber or other approved non-rigid materials shall be permitted for compliance with the 10-foot horizontal fireblocking in walls constructed using parallel rows of studs or staggered studs. Unfaced fiberglass batt insulation used as fireblocking shall fill the entire cross-section of the wall cavity to a minimum height of 16 inches measured vertically. When piping, conduit, or similar obstructions are encountered, the insulation shall be packed tightly around the obstruction. Loose-fill insulation material shall not be used as a fireblock unless specifically tested in the form and manner intended for use to demonstrate its ability to remain in place and to retard the spread of fire and hot

48. Fireblocking at openings around vents, pipes, ducts, cables, and wires at ceiling and floor level. Such openings shall be fireblocked with an approved material to resist the free passage of flame and products of combustion. (CRC R302.11)

and parallel rows of studs or staggered studs, as follows:

E.. Wood Framing (Continued))

49.. Fireblocking of chimneys and fireplaces.. All spaces between chimneys and floors and ceilings through which chimneys pass shall be fireblocked with noncombustible material securely fastened in place. The fireblocking of spaces between chimneys and wood joists, beams, or headers shall be self-supporting or be placed on strips of metal or metal lath laid across the spaces between combustible material and the chimney. (CRC R1003.19)) **50. Draftstopping.** In combustible construction where there is usable space

both above and below the concealed space of a floor/ceiling assembly, draftstops shall be installed so that the area of the concealed space does not exceed 1000 square feet. Draftstopping shall divide the concealed space into approximately equal areas. Where the assembly is enclosed by a floor membrane above and a ceiling membrane below, draftstopping shall be provided in floor/ceiling assemblies under the following circumstances (CRC R302.12):: **a.** Ceiling is suspended under the floor framing

b. Floor framing is constructed of truss-type open-web or perforated members **51.. Draftstopping materials.** Draftstopping shall not be less than 1/2-inch gypsum board, 3/8-inch wood structural panels, or other approved materials adequately supported. Draftstopping shall be installed parallel to the floor framing members unless otherwise approved by the building official. The integrity of draftstops shall be maintained. (CRC R302.12.1)) **52.** Combustible insulation clearance. Combustible insulation shall be separated minimum 3 inches from recessed luminaires, fan motors, and other heat-producing devices. (CRC R302.14))

F. General Material Specifications;

1. Lumber. All joists, rafters, beams, and posts 2-inches to 4-inches thick shall be No. 2 grade Douglas Fir-Larch or better. All posts and beams 5 inches and thicker shall be No. 1 grade Douglas Fir-Larch or better. Studs not more than 8 feet long shall be stud-grade Douglas Fir-Larch or better when supporting not more than one floor, roof, and ceiling. Studs longer than 8 feet shall be No. 2 grade Douglas Fir-Larch or better.

2. Concrete. Concrete shall have a minimum compressive strength of 2,500 psi at 28 days and shall consist of 1 part cement, 3 parts sand, 4 parts 1-inch maximum size rock, and not more than 7-1/2 gallons of water per sack of cement. (CRC R402.2))

3. Mortar. Mortar used in construction of masonry walls, foundation walls, and retaining walls shall conform to ASTM C 270 and shall consist of 1 part portland cement, 2-1/4 to 3 parts sand, and 1/4 to 1/2 part hydrated lime. (CBC 2103.2)) 4. Grout. Grout shall conform to ASTM C 476 and shall consist of 1 part portland cement, 1/10 part hydrated lime, 2-1/4 to 3 parts sand, and 1 to 2 parts gravel. Grout shall attain a minimum compressive strength of 2,000 psi at 28 days. (CBC 2103.3)

5. Masonry. Masonry units shall comply with ASTM C 90 for load-bearing concrete masonry units. (CBC 2103.1)

6. Reinforcing steel. Reinforcing steel used in construction of reinforced masonry or concrete structures shall be deformed and comply with ASTM A 615. (CBC 2103.4)

7. Structural steel. Steel used as structural shapes such as wide-flange sections, channels, plates, and angles shall comply with ASTM A36. Pipe columns shall comply with ASTM A53. Structural tubes shall comply with ASTM

A500, Grade B. 8. Fasteners for preservative-treated wood. Fasteners for preservativetreated and fire-retardant-treated wood --including nuts and washers ---shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.1))

Exception: 1/2-inch diameter or greater steel bolts;

Exception: Fasteners other than nails and timber rivets may be of mechanically deposited zinc-coated steel with coating weights in accordance with ASTM B 695, Class 55 minimum Exception: Plain carbon steel fasteners acceptable in SBX/DOT and zinc borate

preservative-treated wood in an interior, dry environment Fasteners for fire-retardant-treated wood. Fasteners for fire-retardant-treated wood used in exterior applications or wet or damp locations shall be of hot dipped zinc-coated galvanized steel, stainless steel, silicon bronze, or copper. (CRC R317.3.3)

G. Roofing and Weatherproofing

1. Roof covering. All roof covering shall be installed per applicable requirements of CBC 1507. Roof coverings shall be at least Class A rated in accordance with ASTM E 108 or UL 790. (County Building Code 92.1.1505.1)) **2. Roof flashing.** Flashing shall be installed at wall and roof intersections, at gutters, wherever there is a change in roof slope or direction, and around roof openings. Where flashing is of metal, the metal shall be corrosion-resistant with a thickness of not less than 0.019 inch (No. 26 galvanized sheet). (CRC R903.2.1)

3. Crickets and saddles. A cricket or saddle shall be installed on the ridge side; of any chimney or penetration more than 30 inches wide as measured perpendicular to the slope. Cricket or saddle covering shall be sheet metal or the

same material as the roof covering. (CRC R903.2.2)) 4. Water-resistive barrier. A minimum of one layer of No. 15 asphalt felt shall be attached to studs or sheathing of all exterior walls. Such felt or material shall be applied horizontally, with the upper layer lapped over the lower layer minimum 2 inches. Where joints occur, felt shall be lapped minimum 6 inches. The felt shall be continuous to the top of walls and terminated at penetrations and building appendages in a manner to maintain a weather-resistant exterior wall

envelope. (CRC R703.2) 5. Wall flashing. Approved corrosion-resistant flashing shall be applied shingle fashion at the following locations to prevent entry of water into the wall cavity or penetration of water to the building structural framing components (CRC R703.8):

a. Exterior door and window openings, extending to the surface of the exterior wall finish or to the water-resistive barrier for subsequent drainage, **b.** At the intersection of chimneys or other masonry construction with frame or

stucco walls, with projecting lips on both sides under stucco copings; **c.** Under and at the ends of masonry, wood, or metal copings and sills;

d. Continuously above all projecting wood trim e. Where exterior porches, decks, or stairs attach to a wall or floor assembly of wood-frame construction

f. At wall and roof intersections; At built-in gutters;

6. Dampproofing. Dampproofing materials for foundation walls enclosing usable space below grade shall be installed on the exterior surface of the wall,

and shall extend from the top of the footing to finished grade. (CRC R406.1) 7. Weep screed. A minimum 0.019-inch (No. 26 galvanized sheet gage), corrosion-resistant weep screed or plastic weep screed with a minimum vertical attachment flange of 3-1/2 inches shall be provided at or below the foundation plate line on exterior stud walls in accordance with ASTM C 92. The weep screed shall be placed a minimum 4 inches above the earth or 2 inches above paved areas and shall be of a type allowing trapped water to drain to the exterior of the building. (CRC R703.7.2.1)

H. Grading and soils;

1. Grading permit. Grading permit required if volume of earth moved exceeds 200 cubic yards or if any cuts or fills exceed 8 feet in height/depth. (County Grading Ordinance 202)

2. Compaction report. Compaction report required for fill material 12 inches or more in depth. (CBC 1803.5.8)

I. Green Building Standards Code (CALGreen) Requirements; Applicability. CalGreen residential mandatory measures shall apply to every newly constructed building or structure and within any addition or alteration increasing a building's conditioned area, volume, or size. (CalGreen 101.3, CalGreen 301.1.1)

Exception: All residential buildings undergoing permitted alterations, additions, or improvements shall replace noncompliant plumbing fixtures with water-. conserving plumbing fixtures per CalGreen 301.1.1 and CalGreen 4.303.1

I. (CALGreen) Requirements (Continued))

2... Water conserving plumbing fixtures and fittings. Plumbing fixtures and fittings shall comply with the following per CalGreen 4.303.1: a. Water closets: Maximum 1.28 gallons per flush

b. Urinals: Maximum 0.5 gallons per flush

c.. Single showerheads: Maximum flow rate of 2.0 gallons per minute at 80 psii **d.** Multiple showerheads serving one shower: Maximum combined flow rate of 2.0 gallons

per minute at 80 psii e.. Lavatory faucets: Maximum flow rate of 1.2 gallons per minute at 60 psi, minimum flow

rate of 0.8 gallons per minute at 20 psii f., Kitchen faucets: Maximum flow rate of 1.5 gallons per minute at 60 psi (County Green Building Code 97.1.4.303.1.4.4))

Exception::Temporary increase allowed to maximum 2.2 gallons per minute at 60 psi if faucet defaults back to maximum 1.5 gallons per minute at 60 psii g. Appliances: At least one qualified ENERGY STAR dishwasher or clothes washer shall be installed in each dwelling unit. (County Green Building Code 97.1.4.303.3)) 3. Outdoor potable water use in landscape areas. Residential developments shall comply with local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. (CalGreen 4.304.1))

4. Joints and openings. Openings in the building envelope separating conditioned space from unconditioned space needed to accommodate utility and other penetrations must be sealed in compliance with the *California Energy Code*. (CALGreen 4.406.1)) **Exception:**:Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such opening with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency. 5.. Construction waste reduction, disposal, and recycling. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3, or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. (CalGreen 4.408.1)

Exception: Excavated soil and land-clearing debris. Exception: Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite The County of San Diego, Department of Public Works, Construction & Demolition (C&D) Facilities Guide is online at: https://www.sandiegocounty.gov/content/dam/sdc/dpw/SOLID WASTE PLANNING

and RECYCLING/UpdatedCDResources/CDFacility QuickGuide.pdf **Exception:** The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. 6. Construction waste management plan. A construction waste management plan in conformance with Items 1-5 shall be completed and available on the job site. The construction waste management plan shall be updated as necessary and shall be available during construction for examination by the enforcing agency. (CalGreen 4.408.2))

1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, reuse on the project or salvage for future use or sale. 2. Specify if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream). 3. Identify diversion facilities where the construction and demolition waste materials will

be taken. 4. Identify construction methods employed to reduce the amount of construction and demolition waste generated.

5. Specify that the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

Waste management company. Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with Section 4.408.1. (CalGreen 4.408.3))

Note: The owner or contractor may make the determination if the construction and demolition waste materials will be diverted by a waste company. Waste stream reduction alternative [LR]. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1. (CalGreen 4.408.4))

4.408.4.1 Waste stream reduction alternative. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds per square foot of the building area shall meet the 65 percent construction waste reduction requirement in Section 4.408.1.

9. Documentation. Documentation shall be provided to the enforcing agency which demonstrates compliance with Section 4.408.2, Items 1-5, Section 4.408.3, or Section 4.408.4. **10.** Operation and maintenance manual. Prior to final inspection, a manual, compact disc. web-based reference, or other acceptable media which includes all of the following shall be placed in the building (CALGreen 4.410.1):

a. Directions to owner or occupant that manual shall remain with the building throughout the life cycle of the structure.

b. Operation and maintenance instructions for the following:: Equipment and appliances, including water-saving devices and systems, HVAC system,

photovoltaic systems, water-heating systems and other major appliances and equipment.

ii. Roof and yard drainage, including gutters and downspouts. iii. Space conditioning systems, including condensers and air filters.

iv. Landscape irrigation systems.

v. Water reuse systems.

c. Information from local utility, water, and waste recovery providers on methods to further

reduce resource consumption, including recycle programs and locations.

d. Public transportation and/or carpool options available in the area. e. Educational material on the positive impacts of an interior relative humidity between 30-60

percent and what methods an occupant may use to maintain the relative humidity level in that f. Information about water-conserving landscape and irrigation design and controllers which

conserve water g. Instructions for maintaining gutters and downspouts and the importance of diverting water

at least 5 feet away from the foundation. h. Information on required routine maintenance measures, including, but not limited to, caulking, painting, grading around the building, etc.

i. Information about state solar energy and incentive programs available. A copy of all special inspection verifications required by the enforcing agency or code. 11. Covering of duct openings and protection of mechanical equipment during construction. At the time of rough installation or during storage on the construction site and

until final startup of the heating and cooling equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of dust or debris which may collect in the system. (CALGreen 4.504.1))

12. Adhesives, sealants, caulks, paints, and coatings pollutant control. Adhesives (including carpet adhesives), sealants, caulks, paints, and coatings shall comply with VOC limits per CALGreen 4.504.2. Verification of compliance shall be provided at the request of the, enforcing agency. (CALGreen 4.504.2.1)

13. Carpet systems. All carpet installed in the building interior shall meet the testing and product requirements of one of the following (CALGreen 4.504.3):: a. Carpet and Rug Institute's Green Label Plus Program (all carpet cushion must meet the requirements of this program).

b. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350).

c. NSF/ANSI 140 at the Gold level.

Scientific Certifications Systems Indoor Advantage[™] Gold. **14. Resilient flooring systems.** At least 80 percent of the floor area receiving resilient flooring shall comply with one of or more of the following (CALGreen 4.504.4): a. VÕC emission limits defined in the Collaborative for High Performance Schools (CHPS) High Performance Products Database, Products compliant with CHPS criteria certified under the Greenguard Children & Schools

Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program

Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)) 15. Composite wood products. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.) by or before the dates specified in those sections, as shown in CalGreen Table 4.504.5. The following limits are in parts per million (CALGreen 4.504.5):

a. Hardwood plywood veneer core 0.05;

Hardwood plywood composite core 0.05; c. Particle board 0.09)

Medium-density fiberboard (MDF) 0.11

e. Thin MDF (5/16 inch or less) (0.13)

I. (CALGreen) Requirements (Continued))

16. Moisture content of building materials. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following (CALGreen 4.505.3):

a. Moisture content shall be determined with either a probe-type or contact-type moisture meter. **b.** Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified.

c. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

nsulation products which are visibly wet or have high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure. 17. Bathrooms with a bathtub and/or shower shall be mechanically ventilated per the following CalGreen 4.506.1)

a. Fans shall be ENERGY STAR compliant and ducted to terminate outside building **b.** Unless functioning as a component of a whole-house ventilation system, fans shall have humidity controls capable of adjustment --manually or automatically ---between a relative humidity

range of 50% to 80%. 18. Heating and air-conditioning system design. Heating and air-conditioning systems shall be sized, designed, and have their equipment selected using the following methods (CALGreen 4.507.2)::

a.. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J, ASHRAE handbooks, or other equivalent design software or methods. b.. Duct systems are sized according to ANSI/ACCA 1 Manual D 2009, ASHRAE handbooks, or

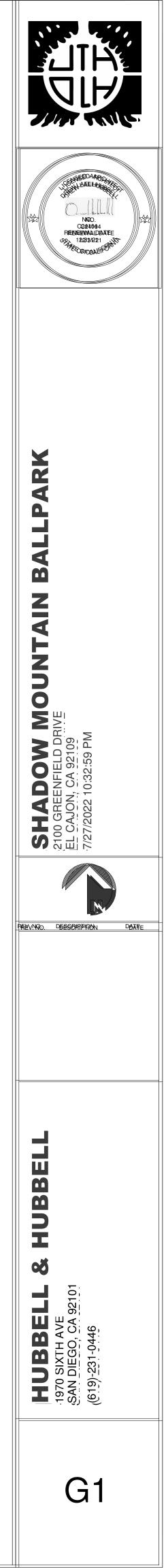
other equivalent design software or methods... c. Select heating and cooling equipment according to ACCA 36-S Manual S or other equivalent design software or methods;

TEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF	SPACING OF FASTENERS	
loof	Blocking between joists or rafters to top plate, toe nai	4-8d box (2 ½ x 0.113")or 3-8d (2 ¹ /2" × 0.113"); or 3-10d box (3"x0.128"); or	Toe nail	
	Ceiling joists to plate, toe nail	3-3"x0.131" nails 4-8d box (2 ½ x 0.113")or 3-8d (2 ¹ / ₂ " × 0.113"); or 3-10d box (3"x0.128");or	Per joist, toe nail	
	Ceiling joists not attached to parallel rafter, laps over partitions, face (see Sections R802.3.2, R802.3.2 and Table R802.5.1(9))		Face nail	
	Ceiling joist attached to parallel rafter (heel joint) (see Sections R802.3.1 and R802.3.2 and Table	Table R802.5.1(9)	Face nail	
	R802.5.1(9)) Collar tie to rafter, face nail or 1 ¹ /4* × 20 gage ridge strap to rafter	4-10d box (3*x0.128"); or 3-10d common (3* × 0.148"); or 4-3*x0.131 nails	Face nail each rafter	
	Rafter or roof truss to plate	3-16d box nails (3 ¹ / ₂ * × 0.135") or 3-10d common nails (3* × 0.148"); or 4-10d box (3* 0.128"); or	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss ⁱ	
		4-3"x0.131" nails 4-16d (31/2" × 0.135"); or 3-10d common (3" × 0.148"); or 4-10d box (3"x0.128"); or	Toe nail	
	Roof rafters to ridge, valley or hip rafters or roof rafter minimum 2" ridge beam	^{1 to} 4-3" x 0.131 nails 3-16d box (3 ¹ /2" × 0.135"); or 3-16d common (3 ¹ /2" × 0.148"); or 3-10d box (3"x0.128"); or	End nails	
Vall		3-3" x 0.131 nails		
	Stud to stud (not at braced wall panels)	16d common (3 ½ * × 0.162") 10d box (3" x 0.128"); or	24" o. c. face nail 16" o. c. face nail	
8	Stud to stud and abutting studs at intersecting wall	3"x 0.131" nails 16d box (3 ¹ / ₂ " × 0.135"); or 3" x 0.131" nails	16" o. c. face nail 12" o.c.	
	corners (at braced wall panels)	16d common (3 ½" x 0.162") 16d common (3 ¹ /2" × 0.162")	16" o.c. face nail 16" o.c. each edge face nail	
0	Built-up header (2" to 2" header with 1/2" spacer	16d box (3 ½" x 0.135") 5-8d box (2 ¹ /2" × 0.113"); or	12" o.c. each edge face nail	
1	Continuous header to stud	4-8d common (2 ½"x 0.131"); or 4-10d box (3" x 0.128")	Toe nail	
2	Top plate to top plate	16d common (3 ½" x 0.162") 10d box (3" x 0.128"); or 3" x 0.131" nails	16" o.c. face nail 12" o.c. face nail	
3	Double top plate splice	8-16d common (31/2" × 0.162"); or 12-16d box (3 ½" × 0.135"); or 12-10d box (3 ½" × 0.135"); or 12-3" × 0.131 nails	Face nail on each side of end joist (minimum 24*) splice length each side of end joint)	
4	Bottom plate to joist, rim joist, band joist or blocking (at braced wall panels)	16d common (3 ½" x 0 162")	16° o.c. face nail 12 ° o.c. face nail	
TEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF	SPACING OF FASTENERS	
5	Bottom plate to joist, rim joist, band joist or blocking	2 16d box (21/ * × 0 125%) or	3 each 16° o.c. face nail 2 each 16° o.c. face nail	
15	braced wall panels)	2-16d common (3 ¹ / ₂ * × 0.162*); or 4-3* x 0.131 nails 4-8d box (2 ½* x 0.113*); or	2 each 16" o.c. face nail 4 each 16" o.c. face nail	
16	Top or bottom plate to stud	4-6d bbx (2 / x 0.113), 01 3-16d bbx (3 / x 2 / 1.315, 0); or 4-8d common (2 //2* x 0.1317); or 4-10d bbx (3* x 0.1287); or 4-3* x 0.131 nails	Toe nail	
		3-16d box (3 ½" x 0.135"); or 2-16d common (3 ½" x 0.162"); or 3-10d box (3"x 0.128"); or 3-3" x 0.131 nails	End nail	
17	Top plates, laps at corners and intersections	3-10d box (3" x 0.128"); or 2 -16d common (3 ½" x 0.162"): or 3-3" x 0.131 nails	Face nail	
8	1" brace to each stud and plate	3-8d box (2 ¹ / ₂ " × 0.113"); or 2-8d common (2 ½"x 0.131"); or 2010d box (3" x 0.128"); or	Face nail	
19	1* × 6* sheathing to each bearing	2 staples 1 ³ /4" × 3-8d box (2 ¹ / ₂ " × 0.113"); or 2-8d common (2 ¹ / ₂ " x 0.131"); or 2-10d box (3" x 0.128"); or	Face nail	
20	1" \times 8" and wider sheathing to each bearing	2 staples, 1 ² crown, 16 ga., 1 ³ / ₄ *lor 3-8d box (2 ¹ / ₈ * × 0.113*); or 3-8d common (2 ½* x. 0.131*); or 3-10d box (3* x. 0.128*); or 3 staples 1 ⁴ crown, 16 ga., 1 ¾*long Wider than 1* x.8* 4-8d box (2 ½* x. 0.113*); or 3-8d common (2 ½* x. 0.131*); or 3-10d common (3* x. 0.128*); or 4 staples, 1 ⁴ common (3* x. 0.128*); or	Face nail	
Floor 21	Joist to sill, top plate or girder	4-8d box (2 ¹ /2" × 0.113"); or 3-8d common (2 ½" x 0.131"); or 3-10d box (3"x 0.128"); or	Toe nail	
22	Rim joist, band joist or blocking to sill or top plate (roof application also)	3-3" x 0131" nails 8d box (21/2" × 0.113") 8d common (2 ½" x 0.131"); or 10d box (3" x 0.128"); or	4° o.c. toe nail 6° o.c. toe nail	
23	1" × 6* subfloor or less to each joist	3" x 0.131" nails 3-8d box (2 ¹ /2" × 0.113"); or 2-8d common (2 1/2" x 0.131"); or	Face nail	
	· · · · · · · · · · · · · · · · · · ·	3-10d box (3" x 0.128"); or 2 staples, 1" crown, 16 ga., 1 ³ /4" lor 3-16d box (3 ½" x 0.135")	ng	
24	2" subfloor to joist or girder 2" planks (plank & beam - floor & roof)	2-16d common (3 ½ " x 0.162") 3-16d box (3 ¹ / ₂ " × 0.135"); or	Blind or face nail	
25	2" planks (plank & beam - floor & roof)	2-16d common (3 ½" x 0.162") 3-16d common (3 ½" x 0.162") 4-10 box (3" x 0.128"), or	At each bearing	
	Band or rim joist to joist	4-3" x 0.131" nails, or 4-3" x 14 ga. staples, 7/16" crown	Nail each layer as follows: 32" o.c. at top and	
		20d common (4" x 0.192"); or	bottom and staggered.	
7	Built-up girders and beams, 2-inch lumber layers	10d box (3" x 0.128"); or 3" x 0.131" nails And: 2-20d common (4" x 0.192©; or	24" o.c. face nail at top and bottom staggered or opposite sides.	
		2-20d common (4 x 0.1920; or 3-10d box(3 ½" x 0.128"); or 3-3" x 0.131" nails 4-16d box (3 ½" x 0.135"); or 3-16d common (3 ¹ /2" x 0.162"); or	Face nail at ends and at each splice	
28	Ledger strip supporting joists or rafters	3-16d common (372 × 0.162); or 4-10d box (3" x 0.128"); or 4-3" x 0.131 nails 2-10d (3" x 0.128"), or 2-8d common	At each joist or rafter, face nail Each end, toe nail	
9	Bridging to joist DESCRIPTION OF BUILDING DESCR	(2 ½" x 0.131"; or 2- 3" x 0.131") nail	5	
ITEM	DESCRIPTION OF BUILDING DESCR	IPTION OF FASTENER ^{b, c, e}	SPACING OF FASTENERS Edges Intermediate supports ^{c, e}	
	Wood structural panels, subfloor, roof and interi	or wall sheathing to framing and particlebo	(inches) ¹ (inches) ard wall sheathing to framing	
30	6d common (2"	I structural panel exterior wall sheathing i × 0.113") nail (subfloor wall) /2" × 0.131") nail (roof) or RSRS-01(2%" x	to wall framing) 6 12'	
31	0.113" nail (roo ¹⁹ / ₃₂ " - 1" 8d common nai 0.113") nail (roo	f) ^j i (2 ¹ / ₂ " × 0.131"); or RSRS-01; (2%" x xf)	6 12'	
32	1 ¹ /a" - 1 ¹ /4" 10d common (3 8d (2 ¹ / ₂ " × 0.13	" × 0.148") nail or 1") deformed nail Other wall sheathing ^h	6 12	
33	fiberboard sheathing 11/4" long 16 ga	Other wall sheathing " I roofing nail, ⁷ /16" head diameter or Staple with 7/16" or 1" crown	3 6	
34	^{25/} 32" structural cellulosic 1 ³ / ₄ " galvanized fiberboard sheathing 1 ¹ / ₄ " long 16 ga.	f roofing nail, 7/16" head diameter or . Staple with 7/16" or 1" crown	3 6	
35	¹ / ₂ " gypsum sheathing ^d 1 ¹ / ₂ " galvanized 1 ¹ / ₂ " long; 1 ¹ / ₄ s	l roofing nail; staple galvanized, screws, Type W or S	7 7	
36	^{-//s} gypsum sheatning ³ [1 ⁵ / ₈ " long; 1 5/8	l roofing nail; staple galvanized, "screws, Type W or S al panels, combination subfloor underlavm	7 7 ent to framing	
		ructural panels, combination subfloor underlayment to framing ed (2* x 0.120") nail or ex (21c x 0.131") pail 6 12		
37	3/4" and less 6d deformed (2 8d common (21		6 12	

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 Ksi = 6.895 MPa. a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameters of 0.192 inch (20d common nail), 90 ksi for shank diameters of 10.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less. b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width. c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. I. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically

e. Spacing of fasteners not included in this table shall be based on Table R602.3(2). f. Where the ultimate design wind speed is 130 mph or less, nails for wood structural panel roof sheathing to gable end wall framing shall be space 6 inches on center. Where the ultimate wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing. g. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208. h. Spacing of fasteners on floor sheathing panel edges applies to panel edge supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof and floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking. j. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be RSRS-01 is a Roof Sheathing Ring Shank nail meeting the specifications in ASTM F1667.

edule provides minimum nailing requirements (i.e., size, spacing) for connecting building elema iton. For wood structural panels, both edge nailing and intermediate (field) nailing are specified structural panels, fasteners are specified for gypsum wall sheathing, celluloisc fiberboard wall s



- **GENERAL NOTES** NOTE: THE FOLLOWING SPECIFICATIONS SHALL APPLY UNLESS NOTED OTHERWISE ON THE DRAWINGS. 1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHING OF HIS WORK IN THE MANNER AND FORMS PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES OF ERROR AND OMISSIONS IN THE PLANS AND SPECIFICATIONS FOR THE WORK PRIOR TO SUBMITTING CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL TRADES AGAINST DAMAGE OR INJURY CAUSED BY HIS ACTIVITY AND THE ACTIVITY OF THE SUBCONTRACTOR THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE DURATION OF CONSTRUCTION OF THIS PROJECT; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT. CONTRACTORS SHALL INDIVIDUALLY WARRANT FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE AGREED. THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, ON, OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF THE WORK IN CASE OF CONFLICT, NOTES AND SPECIFIC DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE "GENERAL NOTES AND SPECIFICATIONS" AND OVER TYPICAL DETAILS. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK. THE OWNER RESERVES THE RIGHT TO CHANGE, INCREASE OR REDUCE THE WORK AS MAY BE NECESSARY. CONTRACTOR SHALL NOT MAKE CHANGES NOR DO EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR HIS REPRESENTATIVE THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE 10. CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY DISCREPANCY OR OMISSION HE MAY DISCOVER. THE SUBCONTRACTORS ARE CONSIDERED TO BE EXPERTS IN THEIR RESPECTIVE FIELDS AND SHALL NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY OF ANY WORK DESIGNED BY ARCHITECT WHICH CANNOT BE FULLY COMPLIED WITH OR GUARANTEED PRIOR TO THE INSTALLATION OF THE WORK. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON DRAWINGS. WHERE NO DETAILS ARE SHOWN OR NOTED, FOR ANY PART OF THE 13. WORK, THE DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK. THE GENERAL CONTRACTOR SHALL VERIFY ALL UTILITY INFORMATION AND NOTIFY THE ARCHITECT OF ALL REGULATORY AGENCIES INVOLVED OF DESCREPANCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT 24 HOURS PRIOR TO THE PLACEMENT OF ANY CONCRETE. CONTRACTOR SHALL NOT USE OLD-GROWTH WESTERN RED CEDAR, SITKA SPRUCE, WESTERN HEMLOCK, PACIFIC SILVER FIR, OR COASTAL REDWOOD, UNLESS IT IS RECYCLED THE HIGHEST PART OF ANY PART OF THE BUILDING INCLUDING CHIMNEYS, VENTS, TOWERS, ETC., SHALL NOT EXCEED 35'-0" ABOVE GRADE OPENINGS TO BE CAULKED AND SEALED; I.E., AROUND JOINTS IN WINDOWS, WALL SOLE PLATES, OPENINGS FOR UTILITY PIPING AND WIRING, ETC MASONRY AND FACTORY-BUILT FIREPLACES MUST HAVE A CLOSABLE METAL OR GLASS DOOR COVERING FIREBOX OPENINGS. COMBUSTION AIR INTAKE DUCTS ARE REQUIRED (6" SQ. IN. MIN.) WITH DAMPERS IF THE FIREPLACE IS ON AN EXTERIOR WALL. FLUE DAMPERS ARE REQUIRED. CEMENTITIOUS BACKER BOARD SHALL BE USED AS A BASE FOR TILE OR WALL PANELS FOR TUB, SHOWER OR WALTER COMPARTMENT WALLS WITH THE EXCEPTION OF BALE WALL SURFACES. ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE
 - BARRIER (WITH THE EXCEPTION OF STRAWBALE WALLS) TO PROTECT THE INTERIOR WALL COVERING. AND EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF. SUBFACE WATER SHALL DRAIN AWAY FROM BUILDING (typical). ALL DIMENSIONS SHALL BE FACE OF STUD UNLESS OTHERWISE NOTED.
- SAFETY GLAZING (SECT. 2406) SHALL BE USED WITHIN 24" OF A DOOR AND WHEN THE BOTTOM EDGE OF GLAZING IS WITHIN 60" OF THE WALKING SURFACE. ALL DEBRIS TO BE REMOVED FROM SITE.
- THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA 26. BUILDING STANDARDS CODE FOUND IN THE STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.
- THE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY." SAFETY OF ALL PARTIES PRESENT ON THE JOB SITE IS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS
- SUBJECT TO EXISTING FIELD CONDITIONS BEFORE STARTING WORK, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL RESOLVE ANY CONFLICTS ON THESE 29. DRAWINGS BEFORE PROCEEDING WITH CONSTRUCTION.
- THIS PROJECT SHALL COMPLY WITH ALL CURRENT APPLICABLE CODES INCLUDING THE COUNTY OF SAN DIEGO CODE WHICH ADOPTS THE
 - FOLLOWING 2016 CALIFORNIA BUILDING CODE / 2013 CALIFORNIA RESIDENTIAL • CODE/ 2013 INTERNATIONAL BUILDING CODE
 - 2016 NATIONAL ELECTRIC CODE
 - 2016 UNIFORM MECHANICAL CODE • 2016 UNIFORM PLUMBING CODE
 - 2016 CALIFORNIA FIRE CODE/ NATIONAL FIRE PROTECTION CODE /
 - LINIFORM FIRE CODE CALIFORNIA STATE TITLE 24 - ENERGY CONSERVATION ACT
 - CALIFORNIA STATE TITLE 24 ACCESS BY THE PHYSICALLY
 - HANDICAPPED CALIFORNIA STATE TITLE 19 - LIFE AND SAFETY UNIFORM FIRE
- CODE IF THE BUILDING IS TO BE FULLY FIRE SPRINKLED. SEE FIRE PREVENTION NOTES THIS SHEET AND SP SHEET FOR FURTHER INFORMATION. FIRE DAMPERS, INCLUDING SLEEVES, AND INSTALLATION PROCEDURES SHALL BE APPROVED BY THE BUILDING INSPECTOR PRIOR TO
- INSTALLATION. FIRE RESISTIVE WALL CONSTRUCTION SHALL BE MAINTAINED AT ALL
- BUILT-IN FIXTURES. (WHERE OCCURS) PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT, SUCH AS STANDPIPES, SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS, MUST BE SUBMITTED TO AND APPROVED BY THE FIRE PREVENTION BUREAU BEFORE THIS EQUIPMENT IS INSTALLED.
- THE HIGHEST POINT OF THE ROOF EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 35' ABOVE GRADE. (ORD. 10960 NS)WITH THE EXCEPTION OF STRUCTURES WHERE THE GRADE DIFFERENTIAL BETWEEN THE HIGHEST AND LOWEST GRADE 5' FROM THE PERIMETER WALL IS GREATER THAN 10', IN WHICH CASE THE HIGHEST POINT SHALL NOT BE GREATER THAN 40' ABOVE GRADE OR ADJACENT SIDEWALK.

- ALL FLASHING, COUNTER-FLASHING AND COPING OF METAL SHALL BE NOT LESS THAN NO. 26 U.S. GAUGE CORROSION-RESISTANT METAL AND CONFORM TO ASTM A525. FLASH AND COUNTER-FLASH AT ALL ROOF TO WALL CONDITIONS. G.I.
- FLASH AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTED THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- FLASH ALL EXTERIOR DOOR AND WINDOW OPENINGS WITH APPROVED METHOD AND MATERIALS, WHICH CONFORMS TO STANDARDS OF LOCAL AND APPLICABLE CODES.

GREEN MATERIALS

- ALL CONSTRUCTION MATERIALS TO BE FORMALDEHYDE-FREE.
- LOW VOC PAINTS ONLY. INSULATION TO BE OF A NATURAL MATERIAL.
- ALL WATER FIXTURES TO BE LOW FLOW.

STORM WATER QUALITY NOTES - CONSTRUCTION BMPS

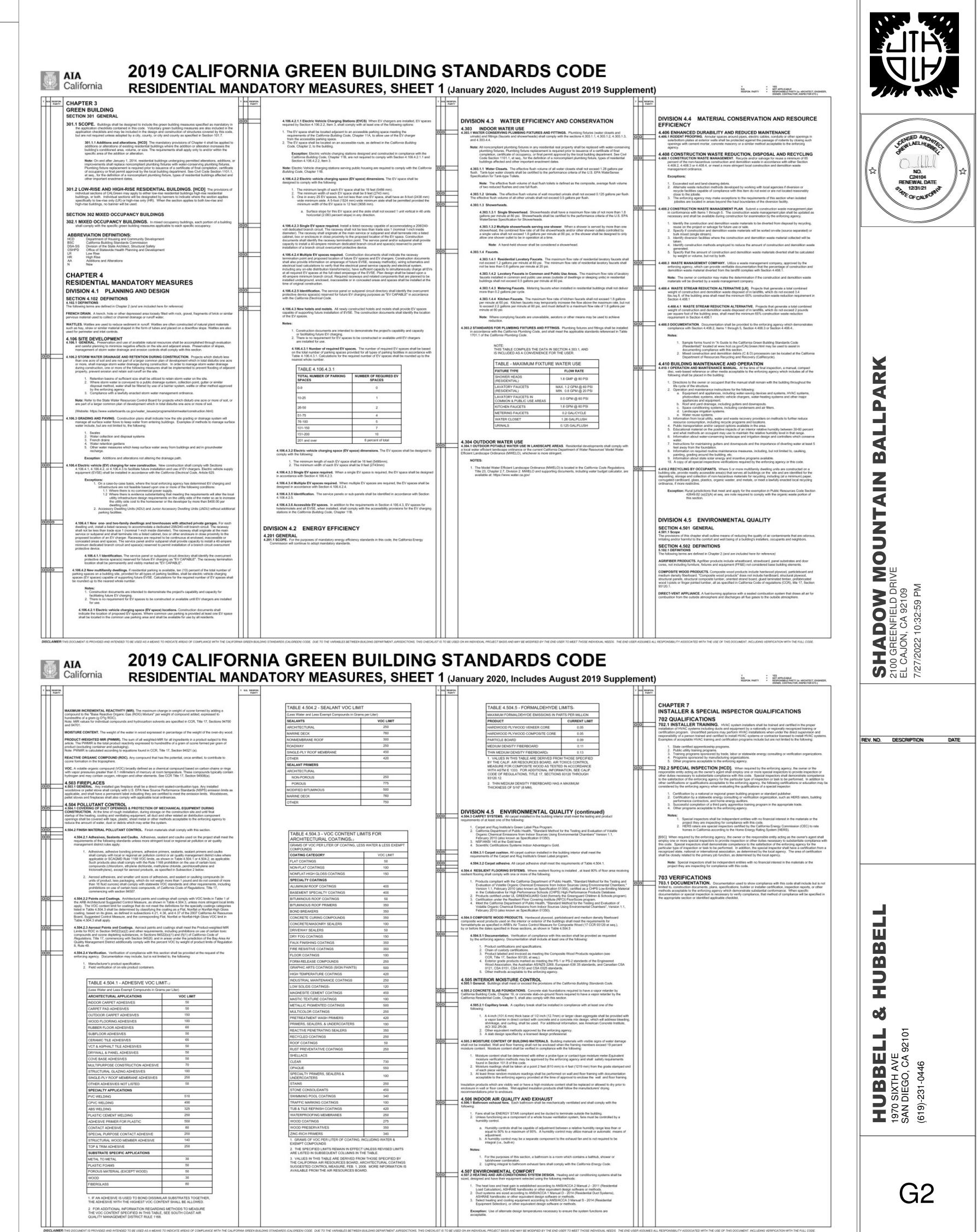
THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAI

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S)AS INDICATED BELOW

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPS.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TOENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUBCONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE 6 RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT BAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE. THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED PROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE 10. AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT. 11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND
- SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR-ROUND. 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY 13 PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE 14 APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPS DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED BAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (A) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

FIRE NOTES

- 1. DRIVEWAYS SHALL PROVIDE A MINIMUM UNOBSTRUCTED WIDTH OF 16 FEET
- 2. DRIVEWAYS SHALL PROVIDE A MINIMUM OF 13'-6" UNOBSTRUCTED HEIGHT.
- DRIVEWAYS IN EXCESS OF 150' SHALL PROVIDE TURNAROUNDS.
- DRIVEWAYS IN EXCESS OF 200' SHALL NOT BE LESS THAN 24' IN WIDTH AND IN ADDITION TO TURNAROUNDS SHALL PROVIDE TURNOUTS. DRIVEWAYS TURNAROUNDS SHALL HAVE AN INSIDE TURNING RADII OF 5.
- NOT LESS THAN 28' AND AN OUTSIDE TURNING RADII OF 45'. (DRIVEWAYS CONNECTED TO A ROAD OR ROADS AT MORE THAN ONE POINT MAY MEET THE TURNAROUNDS IF MEET THE TURNAROUND RADII). TURNOUTS SHALL BE ALL WEATHER SURFACES AND 10 FEET WIDE AND 30
- FEET LONG. SECTION 402.2.1. ROOF COVERINGS SHALL NOT BE LESS THAN A CLASS "A" ROOF
- ASSEMBLY. ALL EXTERIOR ATTACHED OVERHEAD COVERS FOUR-FEET OR GREATER IN DEPTH, SHALL BE EQUIPPED WITH AN APPROVED EXTERIOR FIRE
- SPRINKLER HEAD (TEFLON OR WAX COATED) A RESIDENTIAL FIRE SPRINKLER SYSTEM WITH A ONE-INCH METER WILL BE REQUIRED. PLANS SHALL BE SUBMITTED TO THE COUNTY OF SAN DIEGO FIRE DEPARTMENT PRIOR TO INSTALLATION. (IF A ONE-INCH LATERAL OFF THE STREET MAIN IS CURRENTLY NOT PRESENT, ONE WILL HAVE TO BE INSTALLED.) IF A PRESSURE PUMP IS REQUIRED FOR FIRE
- SPRINKLER OPERATION, AUXILIARY POWER IS REQUIRED. PERMANENTLY WIRED SMOKE ALARMS WITH BATTERY BACKUP IN EACH SLEEPING ROOM, AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR/ HALLWAY AREA LEADING TO EACH SLEEPING AREA ARE REQUIRED. THE SMOKE DETECTORS SHALL BE HARD WIRED WITH A BATTERY BACKUP AND SHALL BE WIRED IN SUCH A MANNER THAT IF ONE DETECTOR ACTIVATES, ALL DETECTORS ACTIVATE.
- 11 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN HALLWAYS ADJOINING BEDROOMS AND ON EVERY FLOOR. THE CARBON MONOXIDE DETECTORS SHALL BE HARD-WIRED. WITH A BATTERY BACKUP. AND SHALL BE WIRED IN SUCH A MANNER THAT IF ONE DETECTOR ACTIVATES, ALL DETECTORS ACTIVATE. (COMBO SMOKE/ CARBON MONOXIDE ALARMS MAY BE USED)
- THE INSTALLATION OF SMOKE ALARMS AND SMOKE DETECTORS SHALL 12. COMPLY WITH THE SPECIFIC LOCATION REQUIREMENTS OF CRC R314.3.4.



INSERT FORM

INSERT FORM

INSERT FORM

INSERT FORM

INSERT FORM

INSERT FORM

INSERT FORM

GLE DWELLING UNITS / DUPLEXES / ACCESSORY DWELLING UNITS 2019	
<u>General/ Special Subjects</u> Prop D/ Coastal Height Limitation Overlay Zone (if applicable to project) • The highest point of the roof, equipment, or any vent, pipe, antenna or other projection shall not	 Smoke alarms shall be interconnected so that actuation of one a within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building battery backup and low battery signal.
 exceed 30 feet above base of measurement (reference datum). [SDMC Section 132.0505] A pre-construction inspection is required due to the height of the proposed structure being within one foot of the maximum height allowed in the Coastal Height Limit Overlay Zone (Proposition D). 	 Smoke alarms shall comply with NFPA 72 and shall be listed in a Combination smoke and carbon monoxide alarms shall be listed ir 2034.
FAA Part 77 Notification (if applicable to project) • FAA Self Certification option: The City will not require notification to the FAA if a professional, licensed by the state of California to prepare construction documents, provides the following certification on their plans, along with	 Smoke alarm systems and components shall be California State F accordance with California Code of Regulations, Title 19, Division are installed.
their signature and registration stamp: "Ido hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77,	• Window opening control devices serving emergency escape and res ASTM F2090. [CRC R310.1.1].
 notification is not required." A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services 	 Add note on plans: "Window fall control device shall comply with escape windows, the device after operation should release the con fully open providing the clear net opening area required for emerg with CRC R310.2.1. <u>2019 Residential – California Green Building Standards Code</u>
office at (858) 492–5070, if you have any questions pertaining to the pre–construction inspection. Deferred Submittal (general)	Electric Vehicle Charging
 Plans for the deferred submittal items shall be submitted in a timely manner but not less than 30 business days prior to installation for City review and approval. 	 A listed raceway to facilitate future installation of Electric Vehicle Raceway shall be not less than trade size 1 (nominal 1-in. diamond
• The deferred submittal items shall not be installed until their design and submittal documents have been approved by the Building Official. [SDMC §129.0205]	208/240—volt branch circuit.
• The registered and responsible design professional shall review the deferred submittal documents and submit them to the Building Official, with annotation indicating that the deferred submittal documents have been reviewed and found to be in general conformance to the design of the	 Raceway shall originate at the main service or subpanel and tern other enclosure in close proximity to the proposed location of th
building. [SDMC \$129.0205]. Deferred Submittal (NFPA 13D Fire Sprinkler)	 Raceway shall be continuous at enclosed, inaccessible or conceale The service panel or subpanel shall provide capacity to install a
• The submittal of residential fire sprinkler plans required by California Residential Code Section R313 has been deferred.	branch circuit and space(s) reserved to permit installation of a b device.
 To avoid delays in construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection. A framing/rough inspection shall not be requested prior to approval of the fire sprinkler plans. 	 The service panel or subpanel circuit directory shall identify: a) The overcurrent protective device space(s) for future EV chan b) The raceway termination location as "EV CAPABLE
 Special Inspections (if applicable to project) NOTICE TO THE APPLICANT/OWNER/ OWNER'S AGENT/ARCHITECT or ENGINEER OF RECORD: By using this permitted construction drawings for construction/installation of the work specified herein, you agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes. 	General Notes: • New residential developments with a landscape area over 500 sq. following [CALGreen 4.304.1]: 1) Local water efficient landscape ordinance or current Californi Model Water Efficient Landscape Ordinance (MWELO).
• NOTICE TO THE CONTRACTOR/BUILDER/INSTALLER/SUB-CONTRACTOR/OWNER-BUILDER: By using this permitted construction drawings for construction/installation of the work specified herein, you acknowledge and are aware of, the requirements contained in the statement of special inspections. You agree to comply with the requirements of City of San Diego for special inspections, structural observations, construction material testing and off-site fabrication of building components, contained in the statement of special inspections and, as required by the California construction codes.	 2) Landscape areas less than 2500 sq. ft. may comply with M Compliance Option. Joints and openings, annular spaces around pipes, electric cables plates at exterior walls shall be protected against the passage of with cement mortar, concrete masonry or similar method accept
• The special inspector must be registered by the City of San Diego, Development Services, in the category of work required to have special inspection.	[CALGreen 4.406.1]. • Before final inspection, a complete operation and maintenance m
 The special inspections identified on plans are, in addition to, and not a substitute for, those inspections required to be performed by a City's building inspector. 	building. A sample of the manual is available on the Housing a web site. The manual should include the items listed in 2019 C.
 The construction materials testing laboratory must be approved by the City of San Diego, Development Services, for testing of materials, systems, components and, equipment. 	 Paints, stains, coatings, adhesives, sealants and caulks shall con Compound (VOC) limits listed in 2019 CALGreen Section 4.504.2.
 Offsite fabricator must be approved by the City of San Diego, Development Services for the fabrication of members and assemblies on the premises of the fabricator's shop. 	• The VOC Content Verification shall be made available to the City
 Offsite fabricator shall submit an 'Application to perform Off-Site Fabrication' to the Inspection Services Division for approval prior to commencement of fabrication. 	 All new and carpet cushions installed in the building interior share requirements of one of the following: 1) Carpet and Rug Institute's Green Label Plus Program 2) California Department of Public Health's Specification 01350
 Offsite fabricator shall submit a 'Certificate of Compliance for Off-Site Fabrication' to the Inspection Services Division prior to erection of fabricated items and assemblies. 	3) NSF/ANSI 140 at the Gold level4) Scientific Certification Systems Indoor AdvantageTM Gold
Soils and Foundation • When no geotechnical investigation report is provided: The structure(s) will be located entirely on undisturbed native soil. SignatureOwner/Licensed Engineer or Architect	 Eighty percent of the floor area receiving resilient flooring shall of following [CALGreen 4.504.4]: 1) VOC emission limits defined in the CHPS High Performance P 2) Certified under UL GREENGUARD Gold 3) Certification under the Resilient Floor Covering Institute (RFC)
 When no geotechnical investigation report is provided: As a California licensed Architect/Engineer, I have classified the undisturbed native soils to be and per Table 1806.2 of the 2019 CBC I have assigned a foundation pressure of 	4) Meet the California Department of Public Health's Specificati
psf. for the design of foundations related to this project. Signatureof Licensed Architect/Engineer	 New hardwood plywood, particle board, and medium density fiberl used in the building shall meet the formaldehyde limits listed in
 If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required. 	 Building materials with visible signs of water damage shall not b shall not be enclosed when framing members exceed 19% moistu Plumbing/Mechanical
 Fire Notes During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC 3315.1. 	• A plumbing fixture certification must be completed and signed b contractor, a plumbing subcontractor, or the building owner cert installed. A copy of the certification can be obtained from the
 Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35. 	 All plumbing fixtures and fittings will be water conserving and will Per 2019 CGBSC, plumbing fixtures (water closets and urinals) a
California Residential Code	showerheads) shall be installed in accordance with the California
 Ducts in the garage and ducts penetrating walls or ceilings separating the dwelling from the garage shall be constructed of minimum No. 26 gauge sheet steel or other approved material and shall have no openings into the garage. [CRC R302.5.2]. 	 Provide lavatory faucets with a maximum flow of 1.2 gallons per Provide kitchen faucets with a maximum flow of 1.8 gallons per
 Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor. [CRC 	• Provide water closets with a maximum flow of 1.28 gallons flush
R307.2].	• Provide shower heads with a maximum flow of 1.8 gallons per m
 Smoke alarms and smoke detectors shall be installed a minimum of 20 feet horizontal distance from a permanently installed cooking appliance. Smoke alarms shall be installed not less than a 3-foot horizontal distance from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a 	 When a shower is served by more than one showerhead, the con and/or other shower outlets controlled by a single valve shall no 80 psi, or the shower shall be designed to only allow one showe time. Handheld showers are considered showerheads.
smoke alarm required by other sections of the CRC.	• Permanent vacuum breakers shall be included with all new hose
 Smoke alarms and smoke detectors shall not be installed within a 36-inch horizontal path from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow of those registers. 	 Plumbing fixtures (water closets and urinals) and fittings (faucet installed in accordance with the California Plumbing Code (CPC).

- will activate all the alarms g and shall be equipped with
- dance with UL 217.
- cordance with UL 217 and UL
- Marshal listed and approved in the purpose for which they
- openings shall comply with
- M F2090. At the emergency device allowing the windows to escape window in accordance
- rger.
- to accommodate a dedicated
- e into a listed cabinet, box or charger.
- reas and spaces.
- mpre minimum dedicated h circuit overcurrent protective
- as "EV CAPABLE"
- shall comply with one of the
- partment of Water Resources'
- s Appendix D Prescriptive
- nduits, or other openings in ents by closing such openings o the enforcing agency.
- l shall be placed in the mmunity Development (HCD) en 4.410.1.
- with the Volatile Organic
- upon request.
- t the testing and product
- with one or more of the
- cts Database
- oorScore Program 350
- (MDF) composite wood product CALGreen Table 4.504.5.
- alled. Walls and floors framing ntent. [CALGreen 4.505.3].
- her a licensed general the flow rate of the fixtures lopment Services Department.
- nply with the 2019 CGBSC
- tings (faucets and ibing Code (CPC).
- ıte (GPM).
- e (GPM).
- (GPM).
- d flow rate of all showerheads ceed 2.0 gallons per minute at let to be in operation at a
- showerheads) shall be

- Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA Phase II emission limits where applicable. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.
- Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which shall be readily accessible. Humidistat controls shall be capable of adjustment between a relative humidity range of 50 to 80 percent.
- Heating and Air conditioners shall be sized, designed and have their equipment selected using the following methods:
- 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J = 2004(Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2009 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.
- 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S 2004 (Residential Equipment Selection).
- All duct and other related air distribution component openings shall be covered during with tape, plastic, or sheet metal until the final startup of the heating cooling, and ventilation equipment. [CALGreen 4.504.1].
- Newly installed bathroom exhaust fans shall be Energy Star compliant and be ducted to terminate outside of the building. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidistat which can adjust between 50 to 80 percent. [CALGreen 4.506.1].
- Outdoor Showers
- Outdoor shower drains and sinks are not permitted to connect to the public sewer system unless equipped with an approved cover. Cold water connection only.
- Storm/Rainwater is not permitted in the public sewer conveyance system.

<u> 2019 Residential — California Energy Code</u>

- Lighting • Lighting in bathrooms shall have all high efficacy luminaire and at least one luminaire must be controlled by a vacancy sensor.
- All the installed wattage of luminaires in kitchens shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer. Under cabinet lighting shall be switched separately.
- Lighting in Garages, Laundry Rooms and Utility Rooms: All luminaires shall be high efficacy and at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.
- All luminaires shall be high efficacy and shall have a manual on/off in addition to a vacancy sensor or dimmer.
- Outdoor Lighting: All luminaires mounted to the building or to other buildings on the same lot shall be high efficacy luminaires and must be controlled by a manual on and off switch, AND controlled by one of these automatic control types: Photocontrol and a motion sensor, or Astronomical time clock or Energy management control system (EMCS).
- Provide an exterior light at new exterior exits. For dwelling units, attached garages, and detached garages with electric power, at least one wall switch-controlled lighting outlet shall be installed to provide illumination on the exterior side of outdoor entrances or exits with grade level access. A vehicle door in a garage shall not be considered as an outdoor entrance or exit. Exception: Remote, central, or automatic control of lighting shall be permitted.

<u>2019 Residential – Mechanical/Plumbing</u>

- Mechanical Notes
- Attic/Underfloor installation must comply with Sections 904, 908, and 909 of the California Mechanical Code (CMC).
- When a water heater compartment is openable to and is accessible from a bedroom or bathroom, fuel burning water heaters shall be separated in a closet protected with a listed, gasketed self-closing door assembly installed with a threshold/bottom seal complying with Section 504.1.1 and 504.1.2 of the California Plumbing Code. Combustion air shall be supplied to the closet from the exterior in accordance with Section 506.4 of the CPC & the water heater shall be direct venting. The closet shall be used exclusively for the water heater. CPC 504.1
- When a central heating furnace compartment is openable to and is accessible from a sleeping room such as a bedroom or a bathroom they shall be separated from bedroom in a closet protected with a listed, gasketed self-closing door assembly complying with Section 904.1.1 and 904.1.2 of the California Mechanical Code. Combustion air shall be supplied to the closet from the exterior in accordance with Section 506.4 of the CPC. The closet shall be used exclusively for the furnace. The furnace shall be of the direct vent type. CMC 904.1

Water Meter/Residential Fire Sprinkler

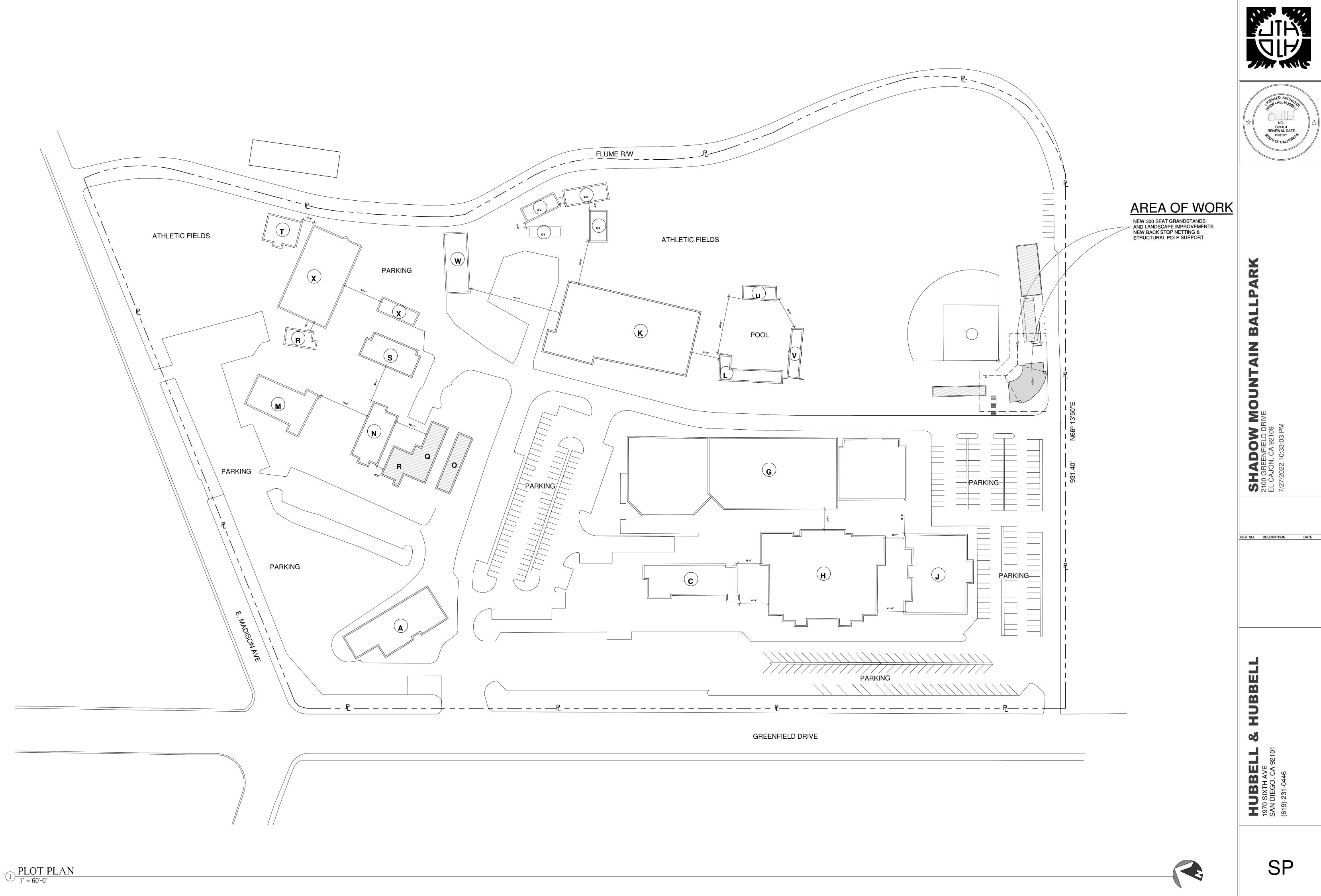
- Water meters for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.
- After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger meter size requirement: Owner Signature: _____

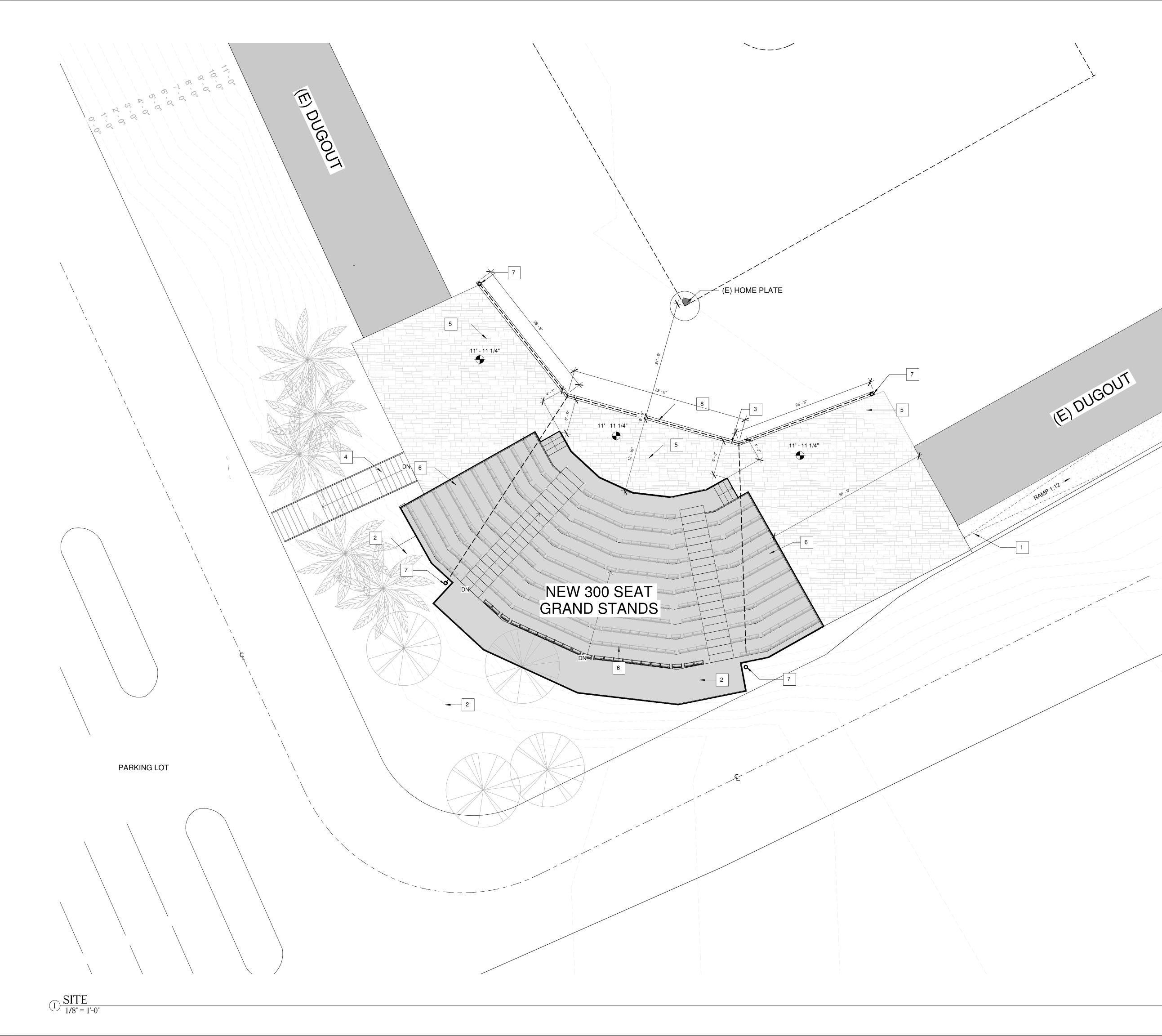
<u> 2019 Residential — Very High Fire Hazard Zone Severity Zone</u>

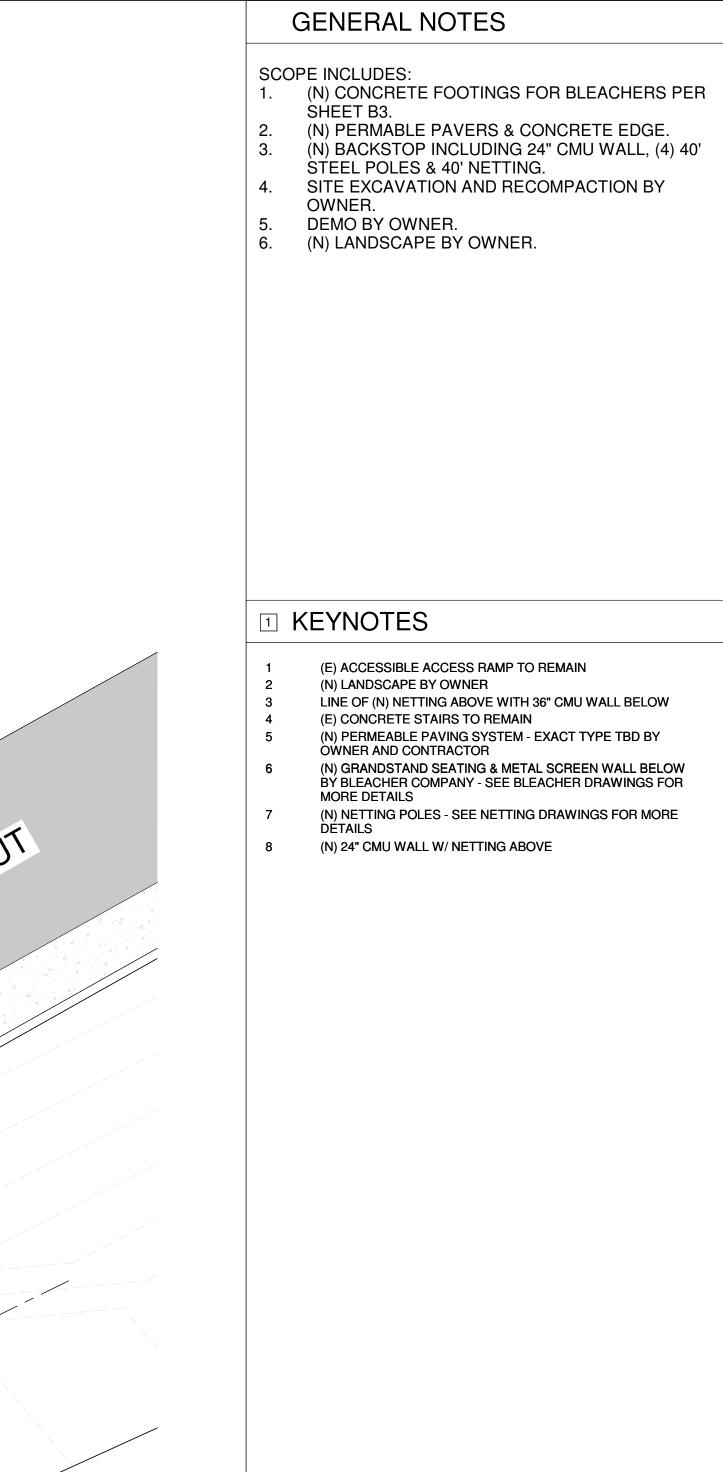
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. All roof gutters and downspouts shall be constructed of non-combustible materials. [CRC R337.5.4].
- Drip edge flashing used at the free edges of roofing materials shall be non-combustible.
- Valley flashings shall be not less than 0.019—inch (No. 26 galvanized sheet gage) corrosion—resistant metal installed over a minimum 36—inch—wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. [CRC R337.5.3].
- Chimneys, flues or stovepipes attached to any fireplace, stove, barbeque or other solid or liquid fuel burning equipment or device shall be equipped with an approves spark arrestor.
- Turbine attic vents shall be equipped to allow one-way direction rotation only and shall not free spin in both directions.
- Glazing frames made of vinyl materials shall have welded corners, metal reinforcement in the interlock area, and be certified to the most current edition of ANSI/AAMA/NWWDA 101/I.S.2 structural requirements.

NOT FOR CONSTRUCTION **ISSUED FOR** INFORMATION ONLY M Ζ Z D 0 ΣĽ 0 210 210 EL REV. NO. DESCRIPTION DATE ш \mathbf{m} D Ø 921

BBE IXTH AVE EGO, CA (31-0446

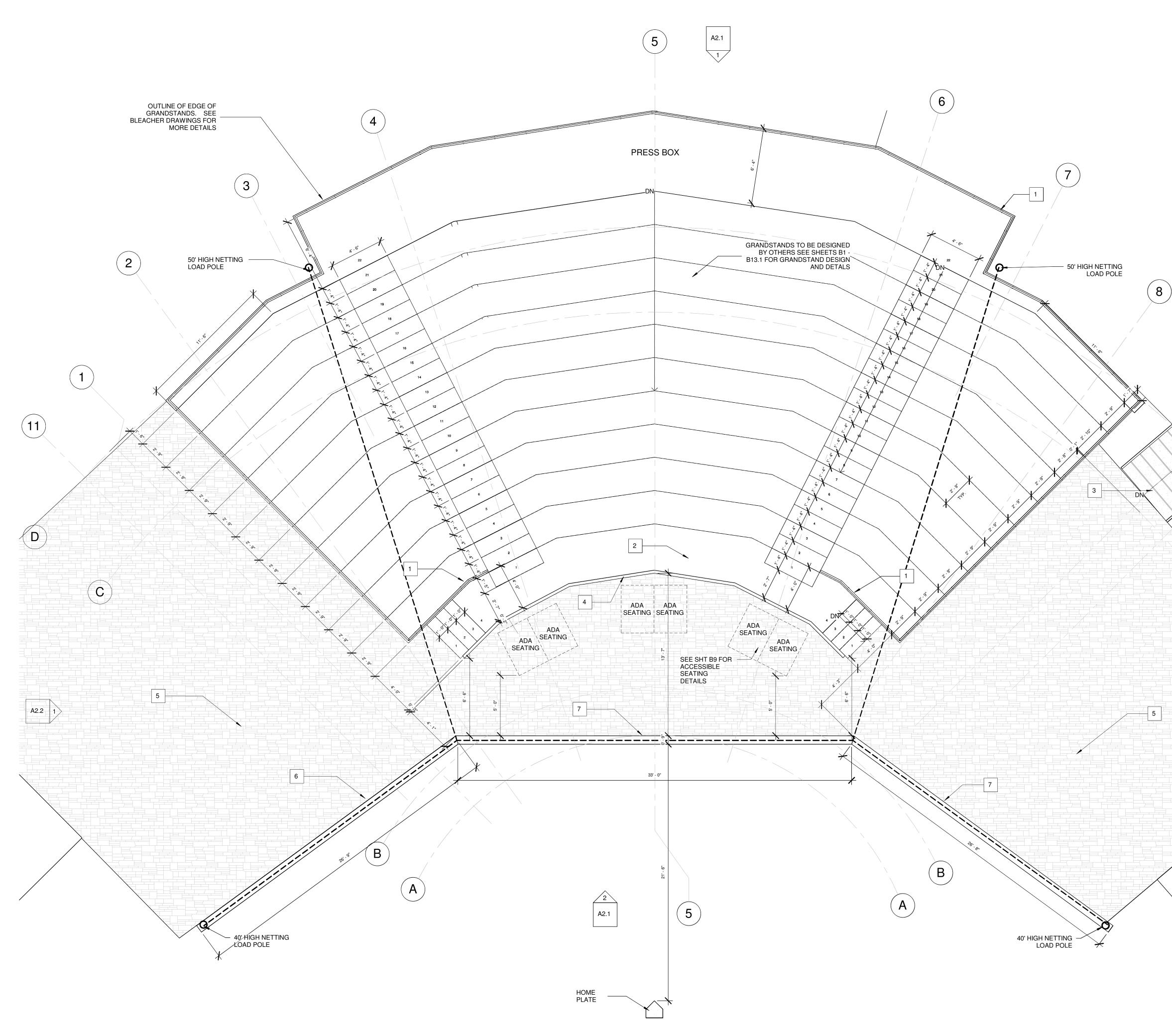


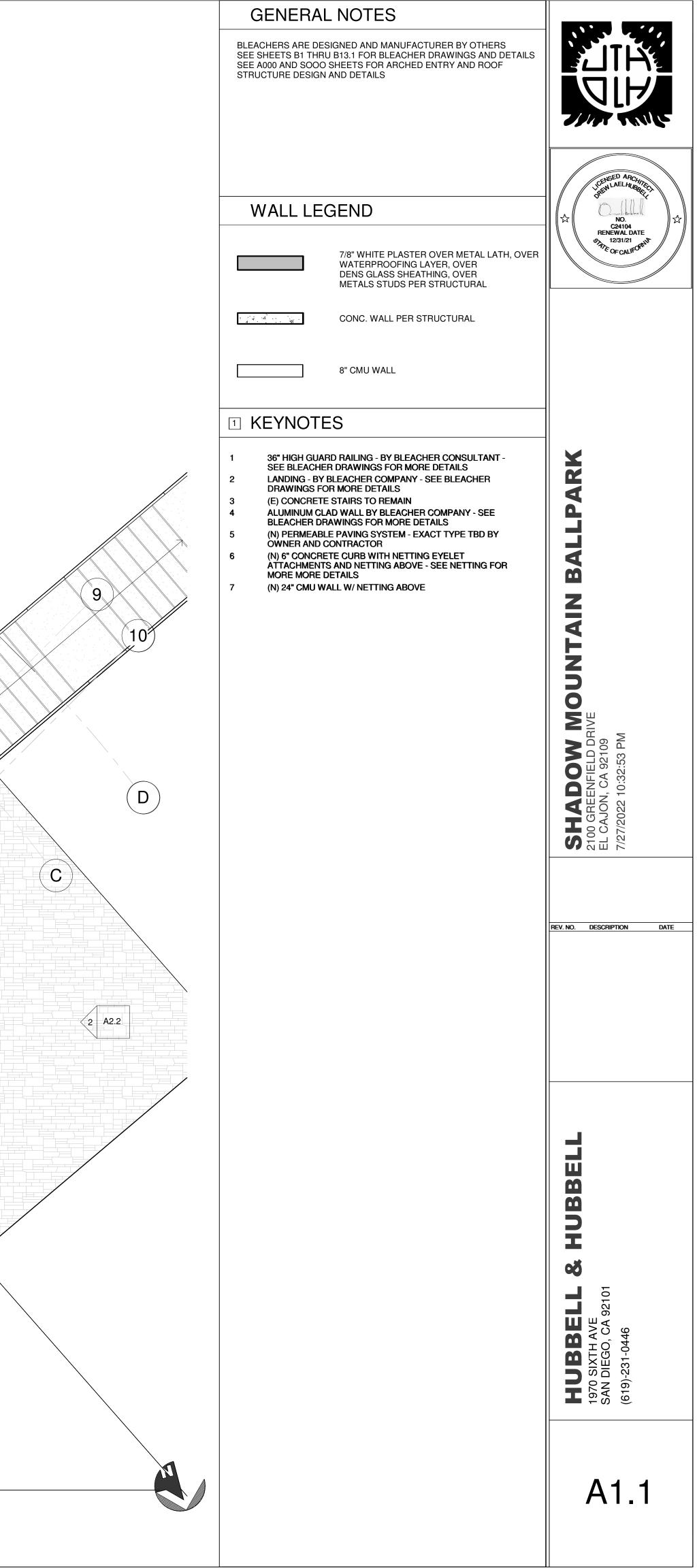


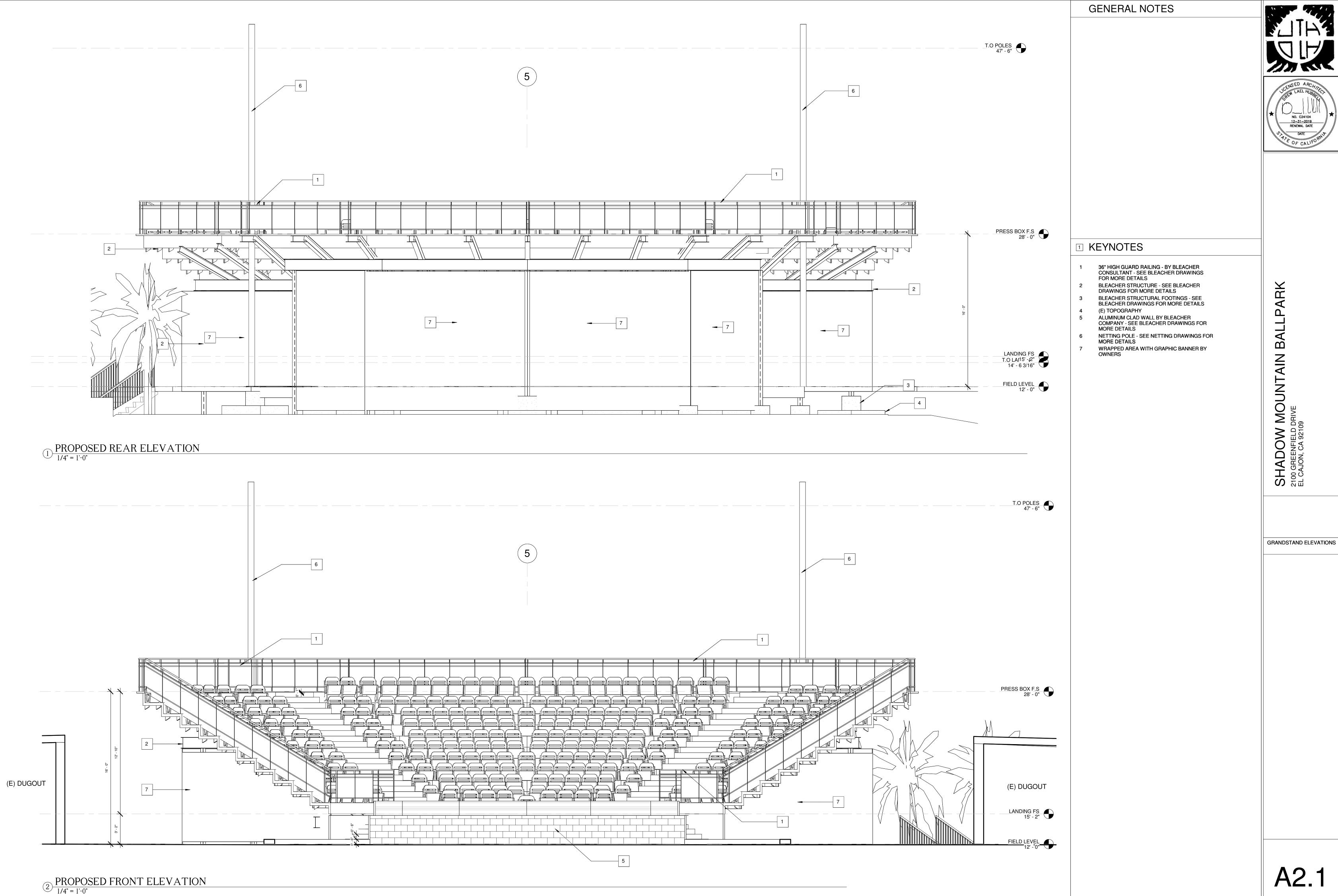


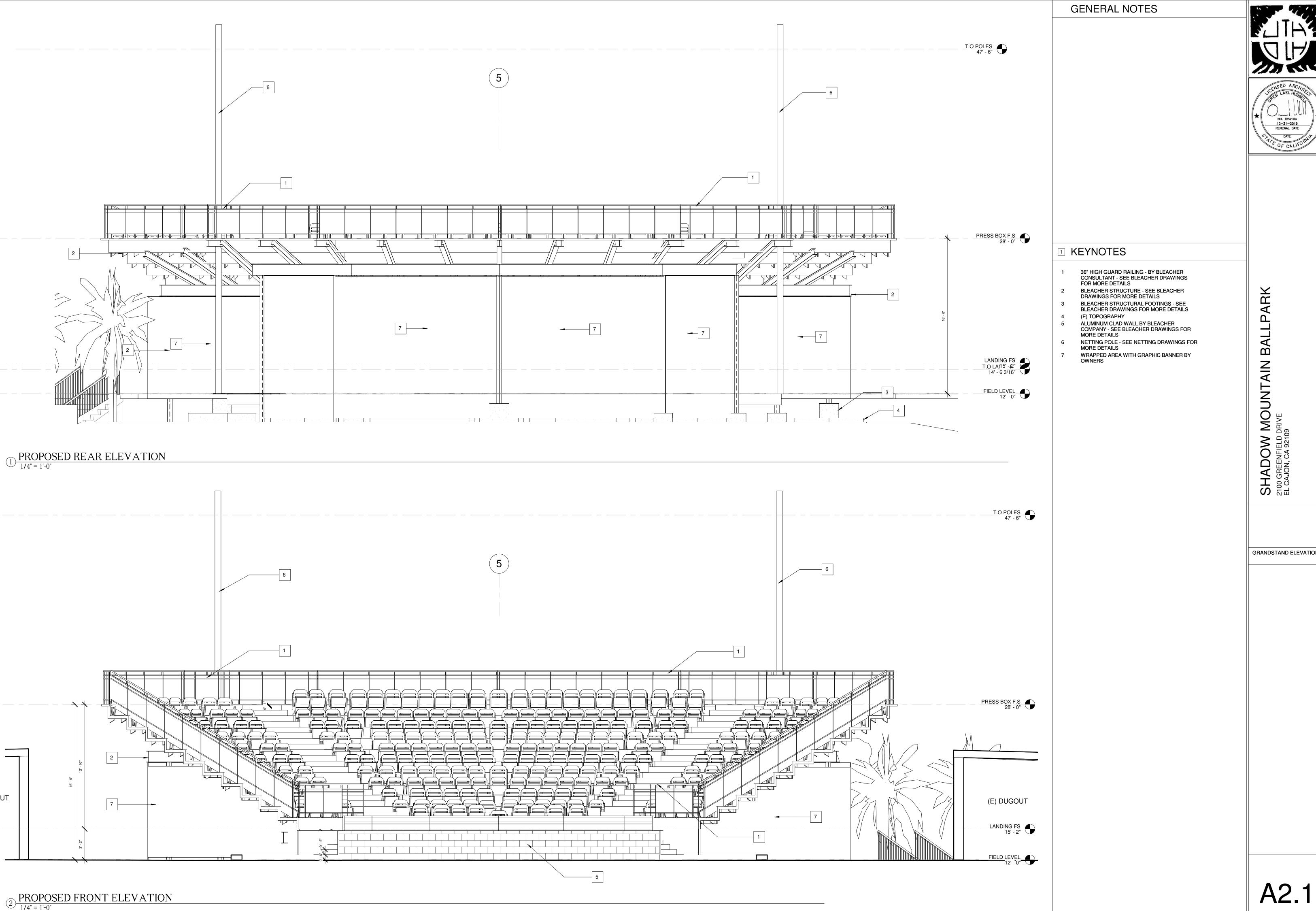
R.

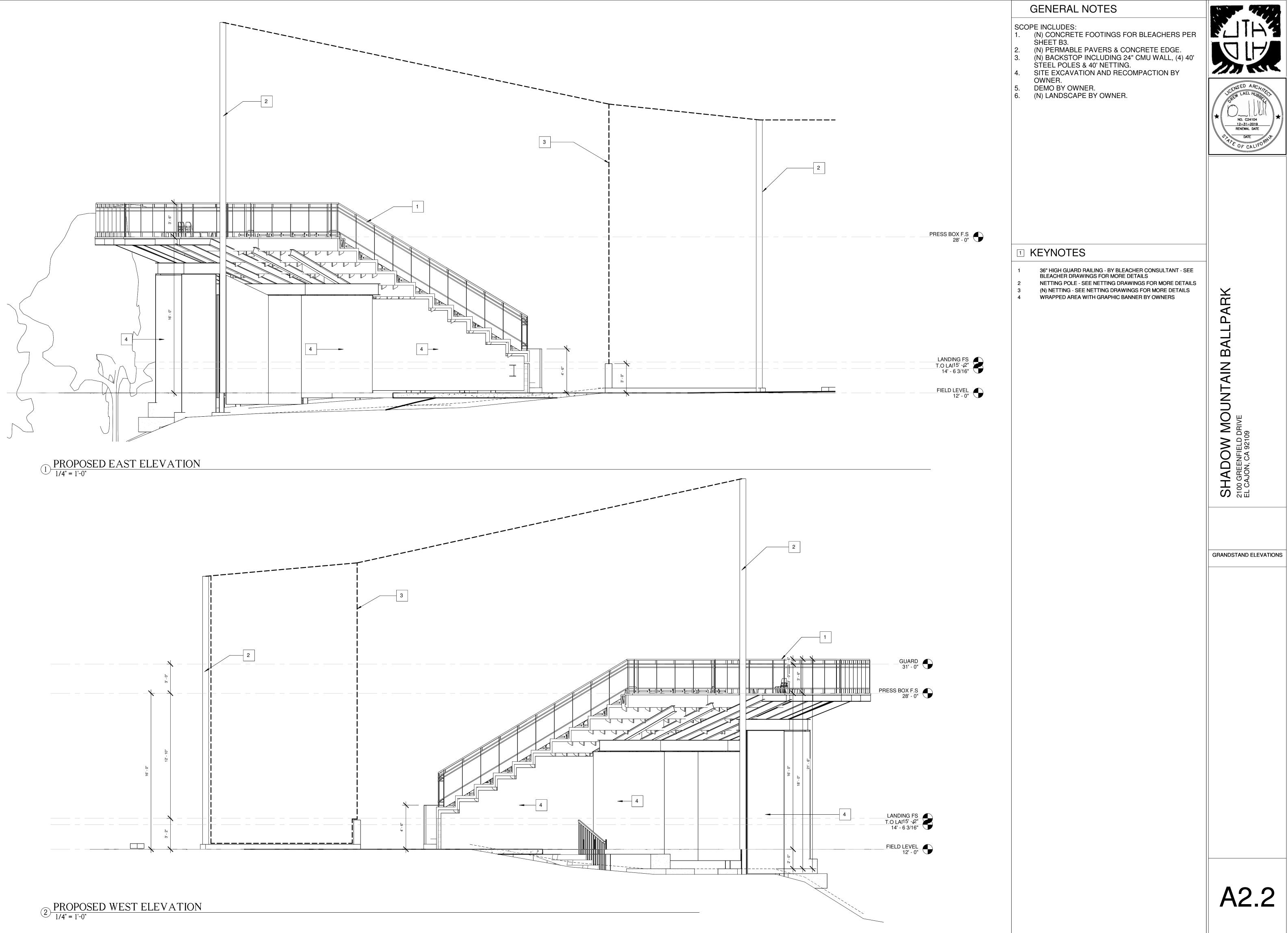




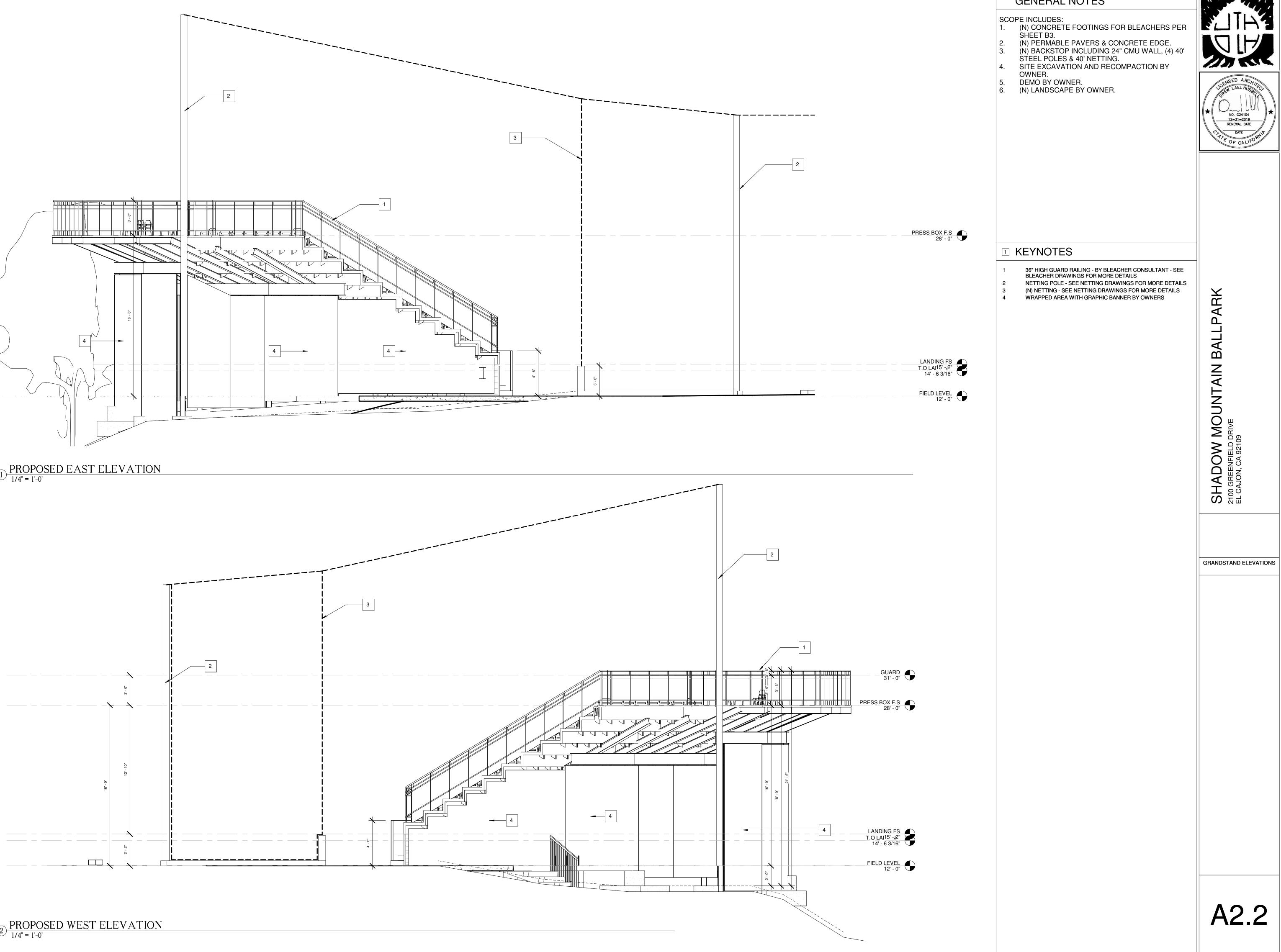


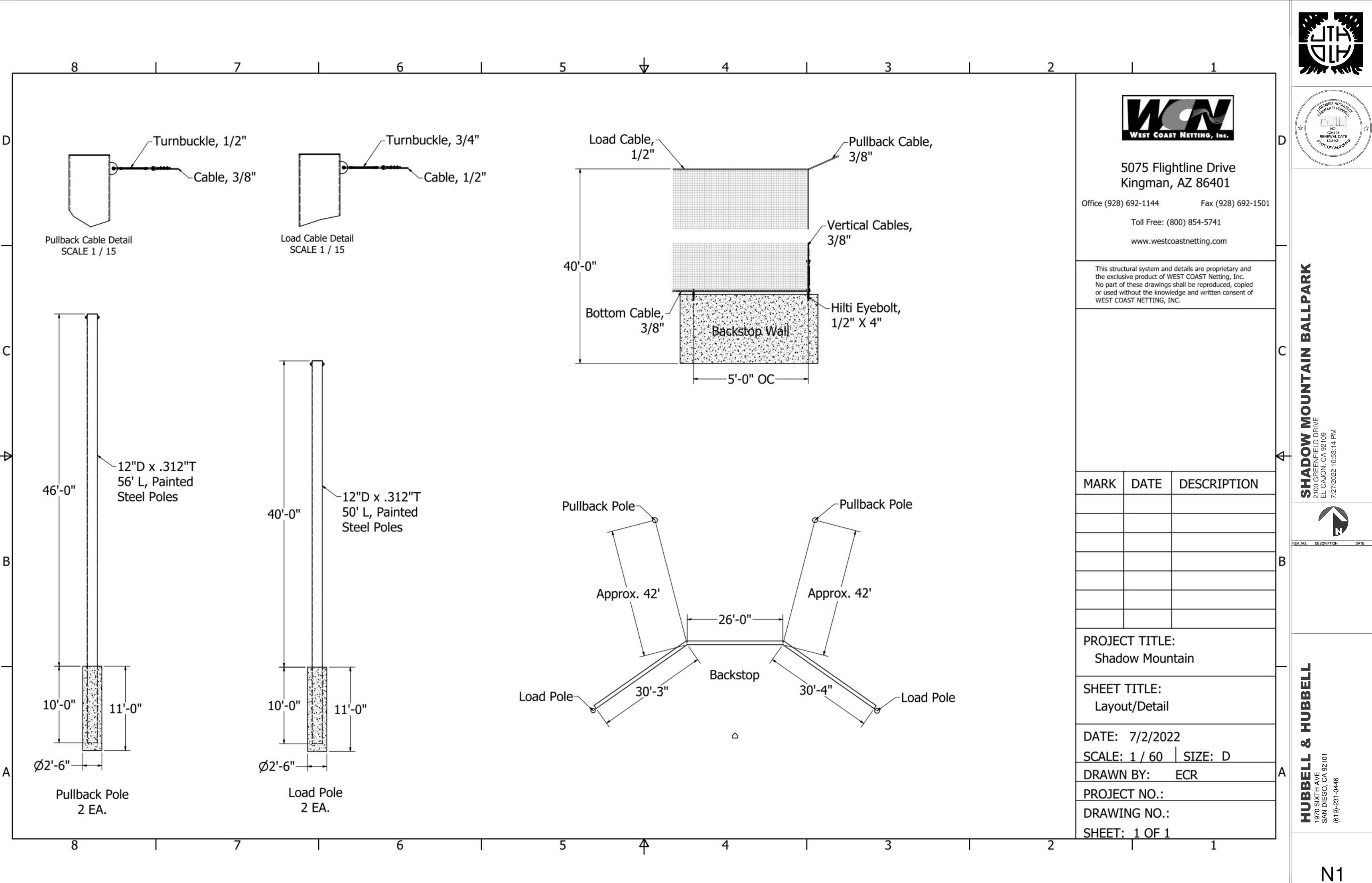








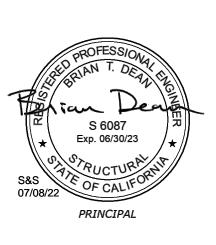




SHADOW MOUNTAIN COMMUNITY CHURCH SHADOW MOUNTAIN PARK RENOVATION EL CAJON, CALIFORNIA

SHEET	<i>SHEET</i>
TITLE	<i>NUMBER</i>
OVER PAGE ENERAL NOTES DOTING LAYOUT DOTING DETAILS NDERSTRUCTURE LAYOUT EVATION VIEW COTION VIEW COTI	B1 B2 B3 B3.1 B4 B5 B6 B7 B8 B9 B10 B11 B12 B13 B13.1







GENERAL	INFORMATION		
RISE:	14"		
TREAD:	33"		
ROWS:	11		
LENGTH:	MITERED		
SEAT COU	NT: 319		
SHADOW M	•	 	IURCH
		B1	B13.1

GENERAL REQUIREMENTS:

- 1. CONFLICTS: NOTES AND DETAILS ON THE DRAWINGS TAKE PRECEDENCE OVER THE GENERAL NOTES AND TYPICAL DETAILS IN CASE OF CONFLICT.
- 2. CODES: ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CALIFORNIA CODE OF REGULATIONS, TITLE 24, PART 2, 2019 CALIFORNIA BUILDING CODE (CBC) & ICC 300.
- SIMILAR WORK: WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS.
- EXCAVATIONS: OWNER TO LOCATE AND PROTECT UNDERGROUND OR CONCEALED CONDUIT, PLUMBING OR OTHER UTILITIES WHERE NEW WORK IS BEING PERFORMED.

DESIGN CRITERIA

1. DEAD LOADS:

BLEACHERS (INCLUDES GIRDERS) 10 PSF
LIVE LOADS:
LIVE LOAD 100 PSF
SEATS 120 PLF
FOOTBOARDS 100 PSF
SWAY (PERPENDICULAR) 10 PLF
SWAY (PARALLEL) 24 PLF
GUARDRAILS AND HANDRAILS* 50 PLF
* OR A 200 POUND CONCENTRATED LOAD APPLIED TO RAIL AT ANY
POINT IN ANY DIRECTION.
PRESS BOX:
dead loads

DEAD LOADS	
FLOOR	15 PSF
ROOF	15 PSF
LIVE LOADS	
FLOOR/ROOF	100 PSF

3. LATERAL LOADS:

A)	SEISMIC - SHORT PERIOD	
	SPECTRAL RESPONSE	Ss = 0.747 g
	ONE - SECOND PERIOD	
	SPECTRAL RESPONSE	S1 = 0.276 g
	SITE CLASSIFICATION	С
	SITE COEFFICIENT	Fa = 1.201
	SITE COEFFICIENT	Fv = 1.500
	ADJUSTED SPECTRAL RESPONSE	Sms = 0.898 g
	ADJUSTED SPECTRAL RESPONSE	Sм1 = 0.414 g
	DESIGN SPECTRAL RESPONSE	S _{DS} = 0.598 g (2/3 Sms)
	DESIGN SPECTRAL RESPONSE	SDI = 0.276 g (2/3 Sm1)
	RISK CATEGORY: III	
	I = 1.25	
	SEISMIC DESIGN CATEGORY	С

LATERAL SYSTEMS:

BOTH	DIRECTIONS: CH. 15 ALL OTHER SELF-SUPPORTING STRUCTURES
R	= 1.25
Rho	=]

Cs = 0.598

V = pCsW = 0.598W (1.0E strength)

A) WIND:

- . ULTIMATE DESIGN WIND SPEED, Vult = 103mph
- 2. RISK CATEGORY = ||| 3. WIND EXPOSURE = C
- 4. APPLICABLE INTERNAL PRESSURE COEFFICIENT (GCpi)=0.55

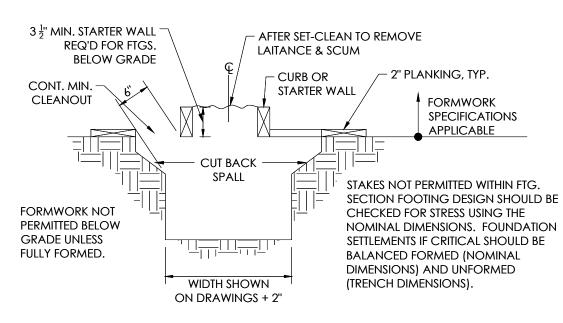
D

FOUNDATION:

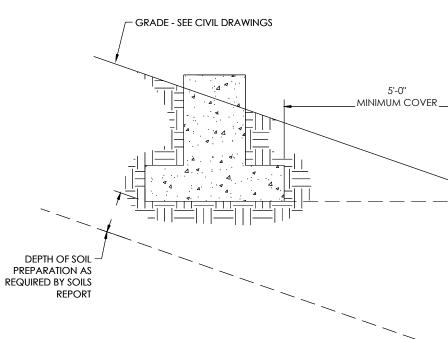
1. GEOTECHNICAL INVESTIGATION: CONSTRUCTION TESTING & ENGINEERING, INC. DATED: JULY 21, 2021 REPORT DATA: CTE JOB NO. :10-16154G

2.	SOIL PRESSURES:	
	SOIL BEARING	<u>2500</u> psf
	COEFFICIENT OF FRICTION	0.3
	PASSIVE PRESSURE	<u>200</u> pcf

- 3. SOIL REMOVAL AND RECOMPACTION: PER GEOTECHNICAL INVESTIGATION AND THE CONTRACT DOCUMENTS. SOILS WORK SHALL BE OBSERVED AND TESTED BY THE GEOTECHNICAL ENGINEER.
- 4. GEOTECHNICAL ENGINEER: SHALL OBSERVE FOOTINGS BEFORE PLACEMENT OF REINFORCING OR CONCRETE. FOOTING OBSERVATION AND COMPACTION REPORTS SHALL BE SENT TO THE ARCHITECT.
- 5. SOIL PREPARATION: AS INDICATED IN THE GEOTECHNICAL INVESTIGATION REPORT AND AS SPECIFIED IN THE PROJECT SPECIFICATIONS. COORDINATE WITH GEOTECHNICAL ENGINEERS.
- 6. MANDATORY MINIMUM FORMWORK (unless fully formed).



- A. STARTER WALL REQUIRED FOR ALL MASONRY OR CONCRETE WALLS. B. FOUNDATION CONCRETE MAY BE PLACED DIRECTLY INTO NEAT EXCAVATIONS PROVIDED THE FOUNDATION TRENCH WALLS ARE STABLE AS DETERMINED BY THE ARCHITECT (STRUCTURAL ENGINEER) SUBJECT TO THE APPROVAL OF THE DIVISION OF THE STATE ARCHITECT. IN SUCH CASE THE MINIMUM FORMWORK SHOWN ON THE DRAWINGS IS MANDATORY TO INSURE CLEAN EXCAVATIONS IMMEDIATELY PRIOR TO AND DURING THE PLACING OF CONCRETE.
- 7. FOUNDATIONS GEOTECHNICAL / GRADING REQUIREMENTS:



CONCRETE WEDGE ANCHORS:

- 1. ANCHOR DIAMETER REFERS TO THE THREAD SIZE FOR THE WEDGE ANCHOR.
- 2. APPLY PROOF TEST LOADS TO WEDGE ANCHORS WITHOUT REMOVING THE NUT IF POSSIBLE. IF NOT, REMOVE NUT & INSTALL A THREADED COUPLER TO THE SAME TIGHTNESS OF THE ORIGINAL NUT USING A TORQUE WRENCH & APPLY LOAD.
- 3. REACTION LOADS FROM TEST FIXTURES MAY BE APPLIED CLOSE TO THE ANCHOR BEING TESTED, PROVIDED THE ANCHOR IS NOT RESTRAINED FROM WITHDRAWING BY THE FIXTURE(S).
- 4. TEST EQUIPMENT IS TO BE CALIBRATED BY AN APPROVED TESTING LABORATORY IN ACCORDANCE WITH STANDARD RECOGNIZED PROCEDURES.
- 5. THE FOLLOWING CRITERIA APPLY FOR THE ACCEPTANCE OF INSTALLED ANCHORS:

HYDRAULIC RAM METHOD: THE ANCHOR SHOULD HAVE NO OBSERVABLE MOVEMENT AT THE APPLICABLE TEST LOAD. FOR WEDGE ANCHORS, A PRACTICAL WAY TO DETERMINE OBSERVABLE MOVEMENT IS THAT THE WASHER UNDER THE NUT BECOMES LOOSE.

TORQUE WRENCH METHOD:

WEDGE TYPE:

THE APPLICABLE TEST TORQUE MUST BE REACHED WITHIN THE FOLLOWING LIMITS:

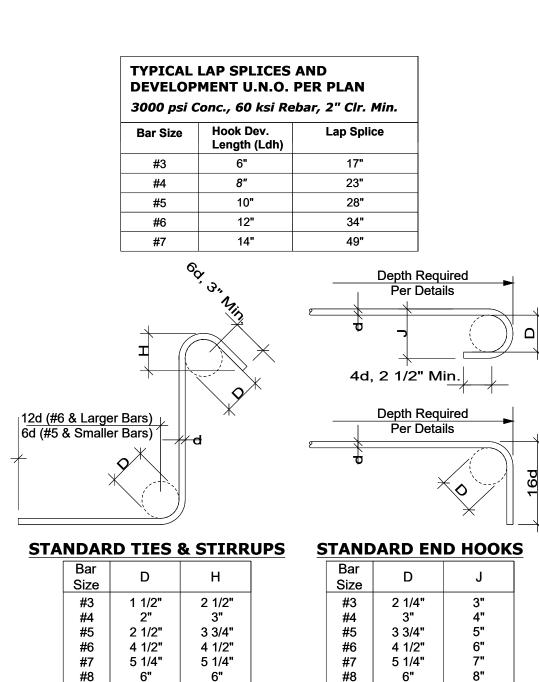
- ONE-HALF (1/2) TURN OF THE NUT: ONE-QUARTER (1/4) TURN OF THE NUT FOR
- THE 3/8 IN. SLEEVE ANCHOR ONLY.
- 6. TESTING SHOULD OCCUR 24 HOURS MINIMUM AFTER INSTALLATION OF THE SUBJECT ANCHORS.
- 7. TESTING VALUES:

HILTI SS KB TZ2 ICC-ESR-4266 HARD ROCK TEST VALUES CONCRETE						
ANCHOR DIA. (IN.)	MINIMUM EMBEDMENT (NOMINAL)	TENSION TEST LOAD (LBS.)	torqu (ftlbs			
3/8	3"	2,990	30			
1/2	3-3/4"	4,433	40			
5/8	4-1/2"	6,053	60			
3/4	5-1/2"	7,831	125			

CHAPTER 19-A. CBC.

CONCRETE NOTES:

- 1. MAXIMUM SIZE AGGREGATE SHALL BE AS FOLLOWS: 1 1/2"Ø AGGREGATE FOR CONCRETE SHALL CONFORM TO ASTM C33. GRADING OF AGGREGATE SHALL CONFORM TO TITLE 24, PART 2
- 2. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 3,000 PSI. SLUMP = 5" MAX. W/C RATIO IS 0.50 MAX.
- 3. ALL REINFORCING SHALL BE ASTM A615 GRADE 40 FOR #3, GRADE 60 FOR #4 AND LARGER. REINF. TO BE WELDED SHALL BE ASTM A706.
- ALL DIMENSIONS SHOWN FOR LOCATION OF REINFORCING STEEL ARE TO FACE OF BAR AND DENOTE CLEAR COVERAGE. UNLESS SPECIFICALLY NOTED, CONCRETE COVERAGE SHALL BE AS FOLLOWS:
 - 3" FOR CONCRETE DEPOSITED DIRECTLY AGAINST GROUND (EXCEPT SLABS) 2" FOR CONCRETE EXPOSED TO GROUND OR WEATHER BUT PLACED IN FORMS. PLACE REINF. AT MID-THICKNESS FOR SLABS ON GROUND.
 - 5. CONCRETE SHALL NOT BE DROPPED THROUGH REINF. STEEL (AS IN WALL) SO TO CAUSE SEGREGATION OF AGGREGATES. IN SUCH CASES, HOPPERS AND VERTICAL CHUTES OR TRUNKS SHALL BE USED. CHUTES OR TRUNKS SHALL BE OF VARIABLE LENGTHS SO THAT FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED FIVE (5) FEET AND SUFFICIENT NUMBER SHALL BE USED TO INSURE THE CONCRETE BEING LEVEL AT ALL TIMES.
 - 6. HORIZONTAL CONSTRUCTION JOINTS SHALL HAVE ENTIRE SURFACE REMOVED TO EXPOSED CLEAN AGGREGATE SOLIDLY EMBEDDED.
 - 7. ALL STEEL COLUMN BASE PLATES AND STEEL BEAMS BEARING ON CONCRETE SHALL BEAR UPON 1" DRYPACK AND LEVELING NUTS EXCEPT AS NOTED OTHERWISE.
 - 8. WHERE STEEL MEMBERS BEAR IN CONCRETE, GAPS BETWEEN BASE PLATE AND CONCRETE SHOULD BE DRY-PACKED WITH GROUT AFTER STEEL IS IN PLACE. GROUT SHALL BE PER CONCRETE CONTRACTOR AND SHALL BE 5 KSI MINIMUM.
 - 9. PROVIDE MINIMUM LAP SPLICES FOR CONTINUOUS REINFORCEMENT PER THE SCHEDULE PROVIDED BELOW. PROVIDE MINIMUM DEVELOPMENT FOR HOOKED BARS PER THE SCHEDULE BELOW.



9 1/2"

#10 10 3/4" 13 1/4"

#9

11 3/4"



CONCRETE - EPOXY ANCHORED THREADED RODS

- 1. MATERIALS: (ICC ESR 3187)
- HILTI HIT-HY200 EPOXY ADHESIVE CONCRETE (MIN)... THREADED RODS ... NUTS.....
- 2. INSTALLATION:
- A. CARBIDE-TIPPED DRILL BITS ANSI B212.15-1994.
- B. HOLES DRILLED WITH HOLLOW BIT, NO CLEANING OR BRUSHING REQUIRED.

F'c = 3,000 PSI STONE AGGREGATE

ASTM A-153 TYPICAL

ASTM A-563 HEX, GRADE A

C. INSTALLATION AND ALLOWABLE LOADING:

HILTI HIT-HY200 HARD ROCK TEST VALUES CONCRETE					
ROD DIAM. (IN.)	BIT DIAM. (IN.)	MIN. EMBED. (IN.)	MIN EDGE DIST. (IN.)	TENSION TEST LOAD (LBS.)	
3/8	7/16	3-3/8	5-1/4	2,213	
1/2	9/16	4-1/2	6-3/8	4,276	
5/8	3/4	4-1/2	7-1/2	5,123	

3. CAPACITY LOADS ARE STRENGTH DESIGN LOADS.

- 4. DO NOT INSTALL IN CONCRETE THAT IS LESS THAN 7 DAYS OLD.
- 5. MINIMUM MEMBER THICKNESS TO RECEIVE ROD SHALL BE NO LESS THAN 1.5 TIMES THE ANCHOR EMBEDMENT DEPTH.
- 6. ANCHORS SHALL BE INSTALLED IN HAMMER DRILLED HOLES

STRUCTURAL STEEL:

- 1. CODES: AISC SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS; MANUAL OF STEEL CONSTRUCTION (15TH EDITION); STRUCTURAL WELDING CODE AWS D1.1 AND AWS D1.4. PIPES SHALL BE IDENTIFIED WITH MILL IDENTIFICATION IN ACCORDANCE WITH ASTM A-53 AND TUBE SHAPES IN ACCORDANCE WITH ASTM A-500.
- 2. IDENTIFICATION: ROLLED STRUCTURAL STEEL SHAPES SHALL BE IDENTIFIED WITH MILL IDENTIFICATION MARKS IN CONFORMANCE WITH ASTM A6.

3. MATERIALS:

STRUCTURAL SHAPES	
WIDE FLANGE	ASTM A992/A572, Fy = Gr. 50 (Fy = 50 ksi Min.), UNO
CHANNELS AND ANGLES	ASTM A529, Fy = Gr. 50 (Fy = 50 ksi Min.), UNO
SWAYRODS	ASTM A529, Fy = Gr. 50 (Fy = 50 ksi Min.), UNO
HSS SHAPES (TUBE COLUMNS)	ASTM A-500 GRADE B - 46 KSI
PLATES ¹ / ₂ " THICK OR LESS	ASTM A36 Gr. 36 (Fy = 36 ksi Min.), UNO
PLATES GREATER THAN ¹ / ₂ " THICK	ASTM A572 Gr. 50 (Fy = 50 ksi Min.), UNO
BOLTS	ASTM A-307, A325N TYPICAL U.N.O (HOT DIP
	GALVANIZED)
NUTS	HEAVY HEX (HOT DIP GALVANIZED)
NON-SHRINK GROUT	ASTM C-1107 5,000 PSI (NON-METALLIC)
ANCHOR BOLTS	ASTM F1554 Gr. 55 (Fy=55 ksi Min.)
	(HOT DIP GALVANIZED)

WELDING: ALL WELDING SHALL BE IN CONFORMANCE WITH AWS D1.1. WELDS ARE ALL AROUND WITH TYPE ER70S-6 WIRE MIG U.N.O.

- 5. ALL STEEL SHALL BE HOT DIP GALVANIZED TO CURRENT A.S.T.M. A-123.
- 6. ALL FIELD CONNECTIONS ARE NON-SLIP CRITICAL U.N.O. ALL CONNECTIONS ARE DESIGNED TO UTILIZE A307 BOLTS. IT IS ACCEPTABLE TO USE A325N BOLTS IN LIEU OF THE A307 BOLTS WITHOUT NEEDING THE TESTS AND SPECIAL INSPECTIONS FOR HIGH STRENGTH BOLTS. THE INSTALLATION OF THESE BOLTS ARE TO BE TIGHTENED A SNUG TIGHT CONDITION AS SPECIFIED BY AISC. BOLT HOLES IN STANDARD CONNECTIONS SHALL BE STANDARD WITH 1/16" OVER SIZING FROM BOLT DIAMETER AND 1/8" OVERSIZED FOR ANCHORAGE LOCATIONS.
- 7. SWAYROD THREADS SHALL BE PINGED WITH A HAMMER TO ELIMINATE REMOVAL OF NUT, AFTER FINAL TIGHTENING.

NOTE: All bar bend diameters and end lengths

must conform to the CRSI

Manual of Standard Practice.



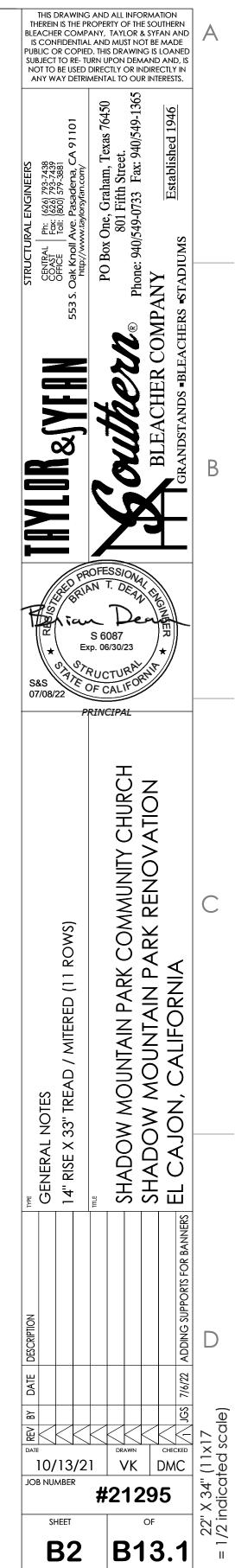
- . MATERIALS: ALUMINUMALLOY 6061-T6 OR 6005-T5 (Fy = 35 KSI)ALLOY 6063-T6 (Fy = 25 KSI) PLANKING
- 2. DISSIMILAR MATERIALS: WHERE ALUMINUM SURFACES ARE IN CONTACT WITH STEEL, THE STEEL SHALL BE GALVANIZED.
- 3. MILL FINISHED ALUMINUM WILL BECOME DISCOLORED DUE TO OXIDATION WHICH IS A NATURAL PHENOMENON & SHOULD BE EXPECTED.
- 4. ANODIZED ALUMINUM HANDRAIL IS 1 1/4" PIPE SIZE.
- 5. ALUMINUM TO CONFORM TO 2015 ALUMINUM DESIGN MANUAL. SPECIAL INSPECTION/INSPECTOR REQUIREMENTS **REQUIREMENTS FOR SPECIAL INSPECTION:**
- 1. PROJECT INSPECTOR: IN ACCORDANCE WITH TITLE 24, PART I, SECTIONS 4-333 AND 4-342.
- 2. CERTIFIED SPECIAL INSPECTOR: EMPLOYED BY THE DISTRICT AND APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER.
- 3. REPORTS: PREPARED BY THE SPECIAL INSPECTOR AND SIGNED BY A CIVIL ENGINEER. SUBMITTED TO THE ARCHITECT, AND ENGINEER. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION; THEN, IF NOT CORRECTED, TO THE ARCHITECT, ENGINEER AND BUILDING INSPECOR (CBC 1704A.2.4).
- 4. THE SPECIAL INSPECTION IS TO BE CONTINUOUS DURING THE PERFORMANCE OF THE WORK UNLESS OTHERWISE SPECIFIED.

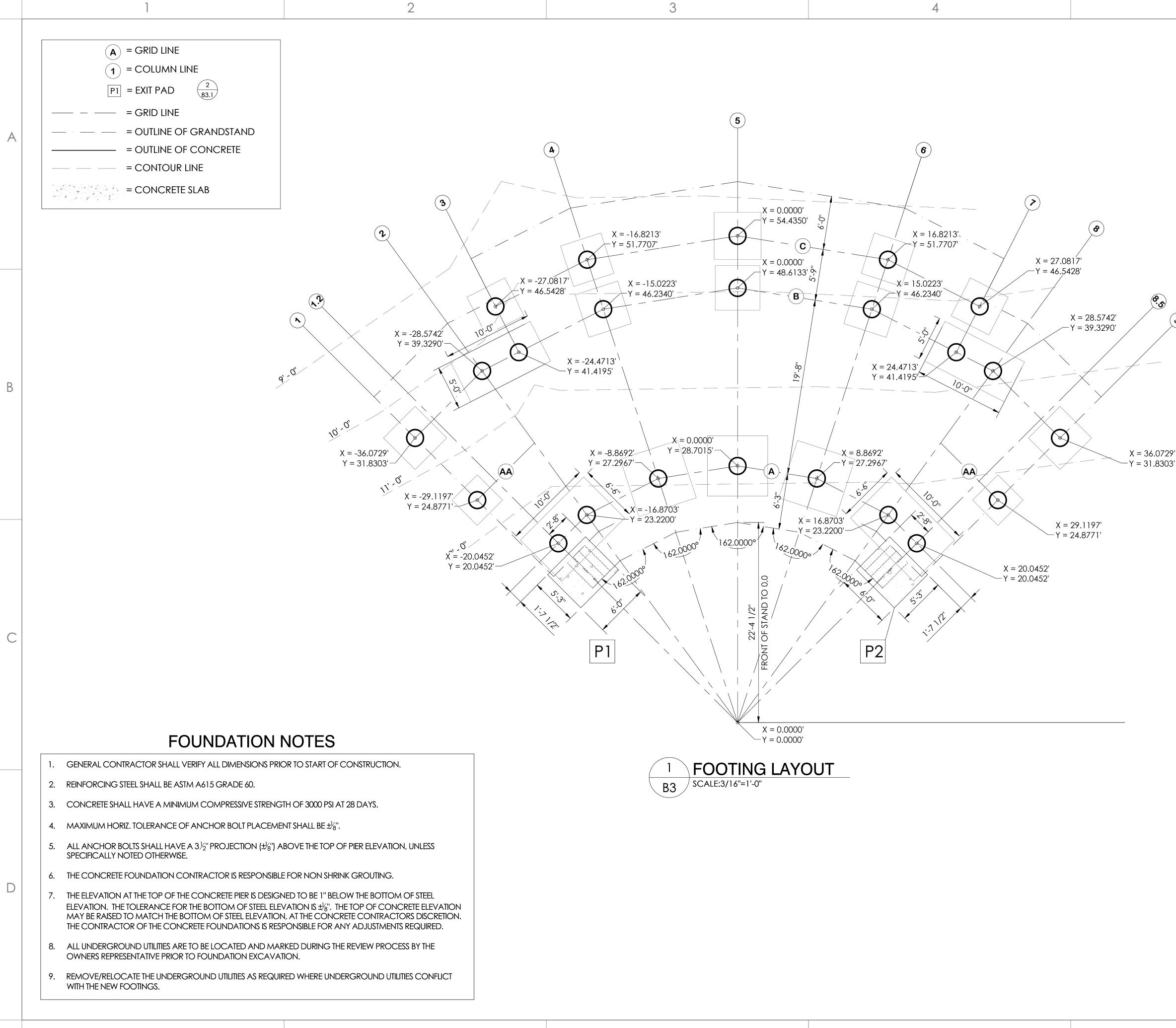
SUMMARY OF STRUCTURAL CONTINUOUS AND PERIODIC SPECIAL INSPECTION:

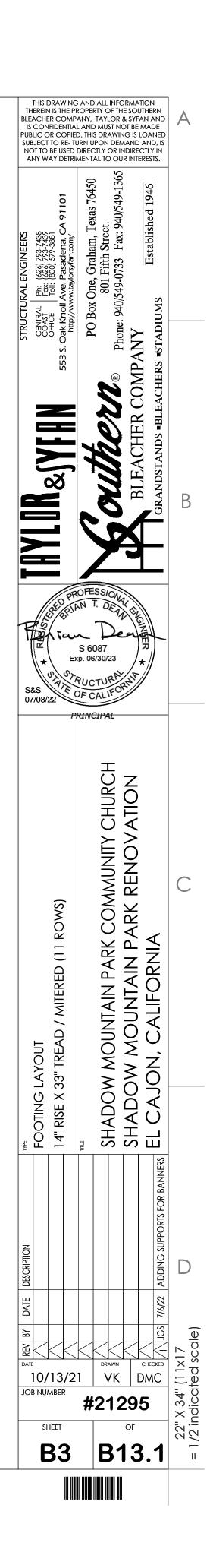
- - 1. RESPONSIBILITY: IT IS THE RESPONSIBILITY OF THE PROJECT INSPECTOR TO INFORM THE SPECIAL INSPECTOR OR INSPECTION AGENCY AT LEAST ONE WORKING DAY PRIOR TO PERFORMING ANY WORK THAT REQUIRES SPECIAL INSPECTION.
 - 2. SPECIAL INSPECTIONS:
 - A) CONCRETE (CBC 1705.3): DURING THE TAKING OF TEST SPECIMENS AND PLACING OF REINFORCED CONCRETE.
 - B) BOLTS INSTALLED IN CONCRETE (CBC 1705.3): PRIOR TO AND DURING THE PLACEMENT OF CONCRETE AROUND BOLTS.
 - C) REINFORCING STEEL (CBC 1705.3): DURING PLACING OF REINFORCING STEEL FOR ALL CONCRETE SPECIFIED TO HAVE SPECIAL INSPECTION.
 - D) STRUCTURAL WELDING AND FABRICATION (CBC 1705.2, 1705.2.5 & 1704.2.5):
 - 1. DURING ALL SHOP AND FIELD WELDING IN ACCORDANCE WITH
 - AWS D1.1 DURING SHOP FABRICATION. 2. WELDING INSPECTORS ARE TO BE AWS QC-1 CERTIFIED.
 - 3. INSPECTION SHALL BE PER AWS D1.1, D1.3 OR D1.4 AND INCLUDE VERIFICATION THAT THE WPS IS BEING FOLLOWED.
 - 4. ALL STEEL AND WELDING MATERIALS SHALL BE IDENTIFIED AS
 - REQUIRED BY THEIR ASTM OR AWS STANDARD. 5. ALL SUBMITTED TO THE OWNER BY THEIR WELDING INSPECTOR,

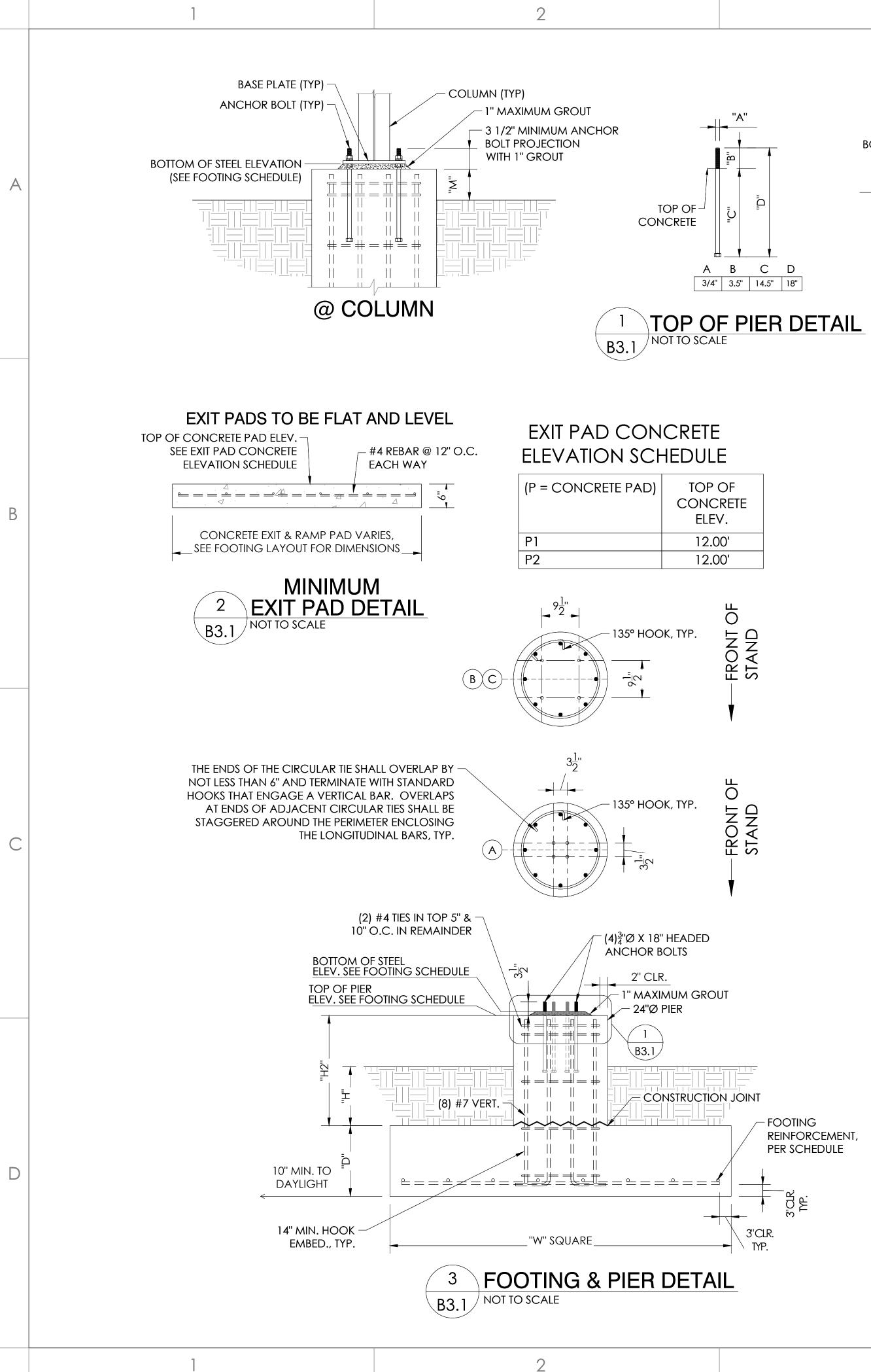
CLEAN OUT, ALL MATERIALS, INSTALLATION TORQUE AND PROOF LOAD TESTS.

- NOT THE BLEACHER FABRICATOR. E) CONCRETE ANCHORS: FOR ALL THREADED ROD AND REINFORCING STEEL ANCHORED WITH EPOXY ADHESIVE IN CONCRETE; FOR ALL EXPANSION ANCHORS IN CONCRETE. INSPECTION / TESTING SHALL BE IN CONFORMANCE WITH THE ANCHOR MANUFACTURER'S EVALUATION REPORT AND SHALL INCLUDE AS A MINIMUM VERIFICATION OF HOLE DEPTH AND DIAMETER,
- F) YEARLY INSPECTION: AFTER THE INSTALLATION, THE OWNER SHALL CONDUCT ANNUAL INSPECTIONS AS REQUIRED BY ICC/ANSI 300, SECTION 102.2. THE OWNER WILL ALSO MAINTAIN COPIES OF ALL ANNUAL INSPECTIONS REPORTS AND MAKE THEM AVAILABLE ON SITE FOR BUILDING OFFICIAL REVIEW, UPON REQUEST.



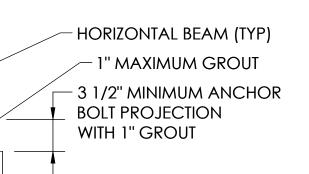












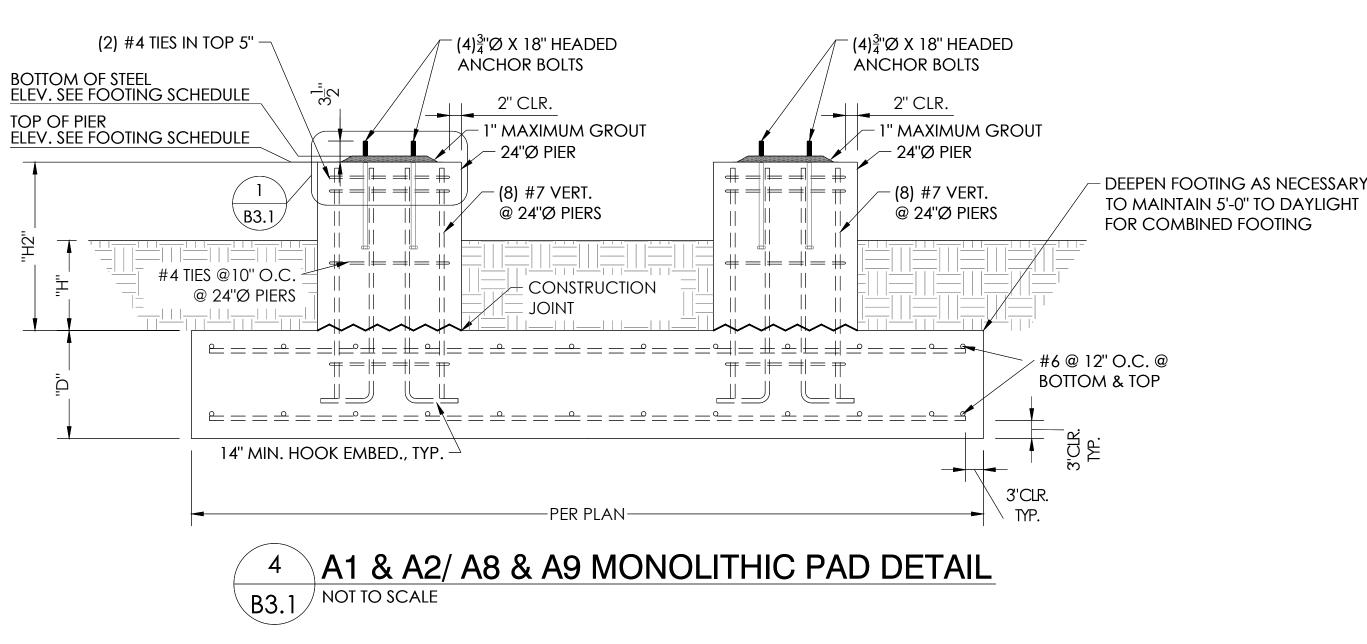
BOTTOM OF STEEL ELEVATION (SEE FOOTING SCHEDULE) KEEP GROUT A MINIMUM OF 2" FROM EDGE OF PIER $\blacksquare = \blacksquare = \blacksquare = \blacksquare$

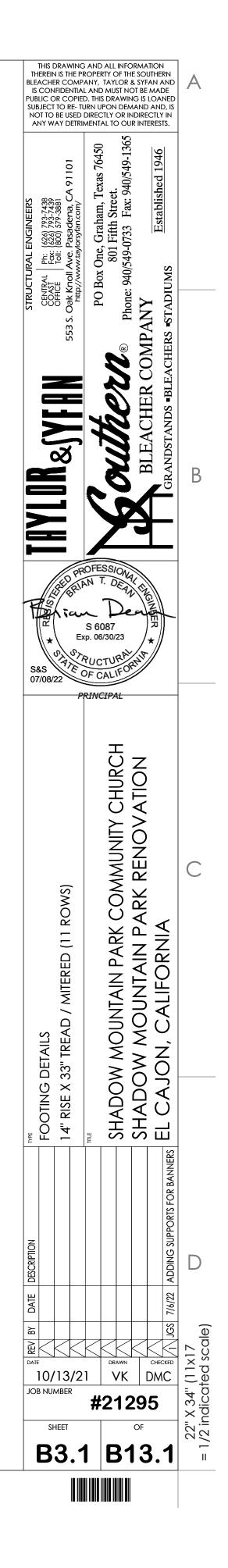
ANCHOR BOLT (TYP)

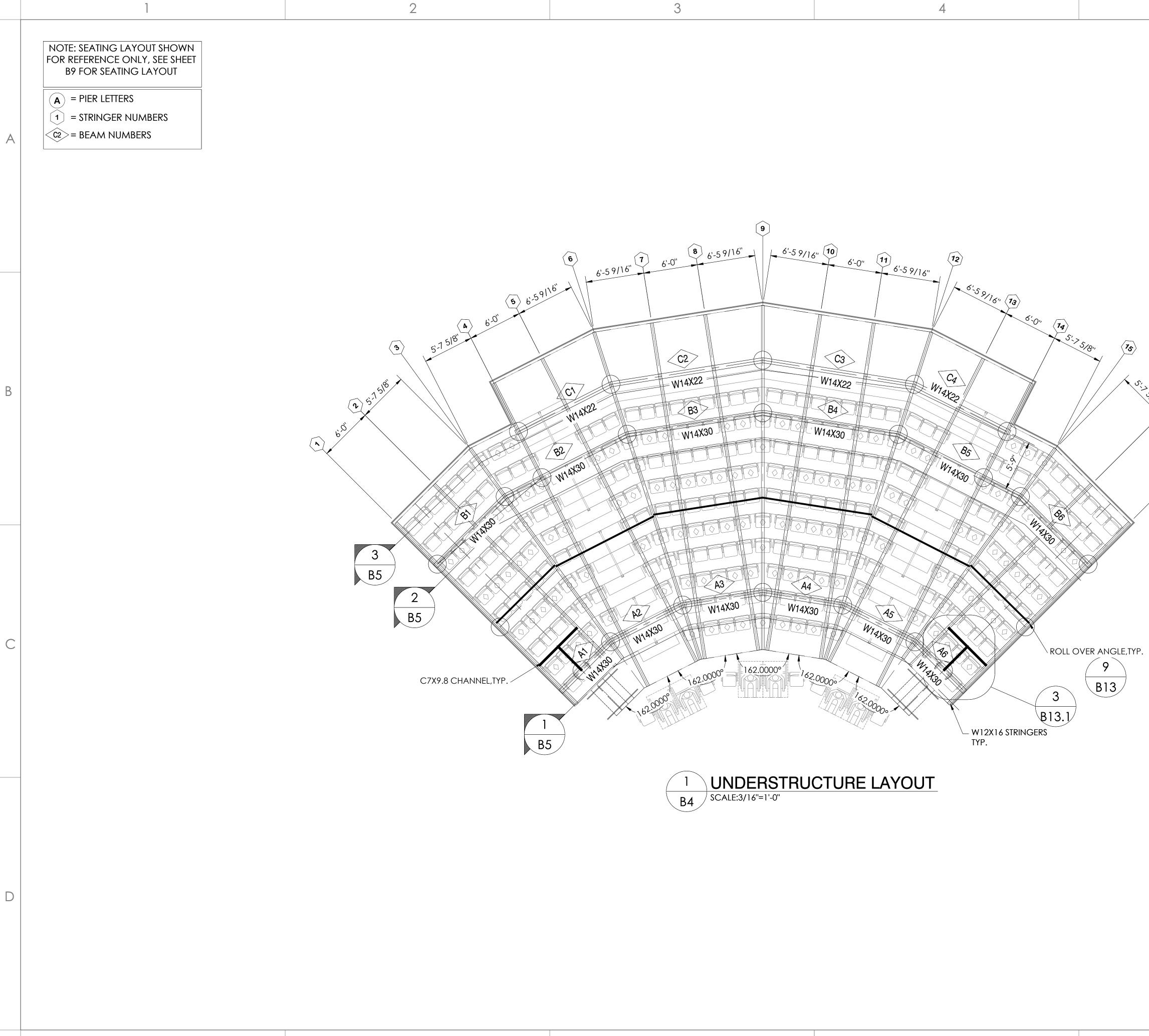


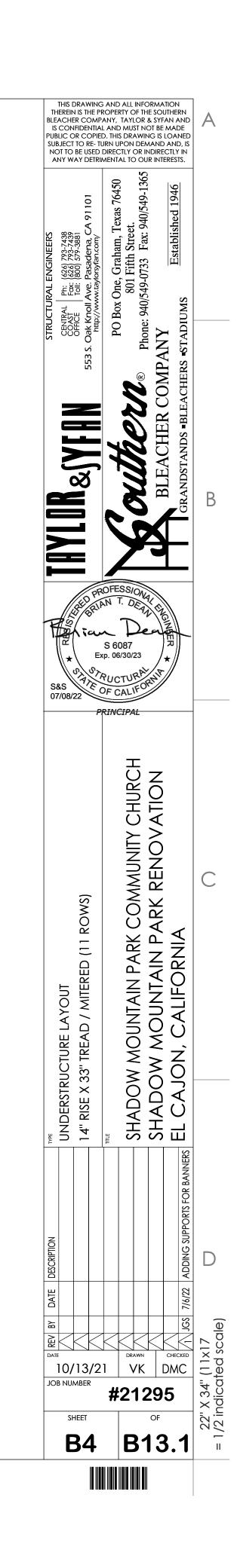


FOOTING # (R = RAMP PIER) (A/B/C=GRIDLINE)	T.O.P. ELEV.	B.O.S. ELEV.	"H" MIN.	"D" MIN.	"H2"	"W"	FOOTING REINFORCEMENT
A1.2-2 & A8.5-9	12.203'	12.286'	14"	19"	38" MAX.	10'-0'' X 6'-6''	#6 @ 12" O.C. EACH WAY TOP AND BOTTOM
A 4-6	12.203'	12.286'	14"	19"	38" MAX.	6'-9'' X 6'-9''	(7) #6 EACH WAY BOTTOM & #5 @ 18" O.C. TOP
AA1 & AA9	11.010'	11.194'	14"	19"	38" MAX.	4'-0'' X 4'-0''	(4) #6 EACH WAY BOTTOM }
B 1,4,5,6	10.406'	10.590'	14"	19"	38" MAX.	5'-0" X 5'-0"	(5) #6 EACH WAY BOTTOM
B2, B3	10.406'	10.590'	14"	19"	38" MAX.	10'-0" X 5'-0"	#6 @ 12" O.C. EACH WAY TOP AND BOTTOM
B7, B8	11.635'	11.719'	14"	19"	38" MAX.	10'-0" X 5'-0"	#6 @ 12" O.C. EACH WAY TOP AND BOTTOM
B9	11.635'	11.719'	14"	19"	38" MAX.	5'-0" X 5'-0"	(5) #6 EACH WAY BOTTOM
С	9.860'	9.943'	14"	19"	38" MAX.	4'-9'' X 4'-9''	(5) #6 EACH WAY BOTTOM
C5	9.860'	9.943'	14"	19"	38" MAX.	5'-3" X 5'-3"	(5) #6 EACH WAY BOTTOM

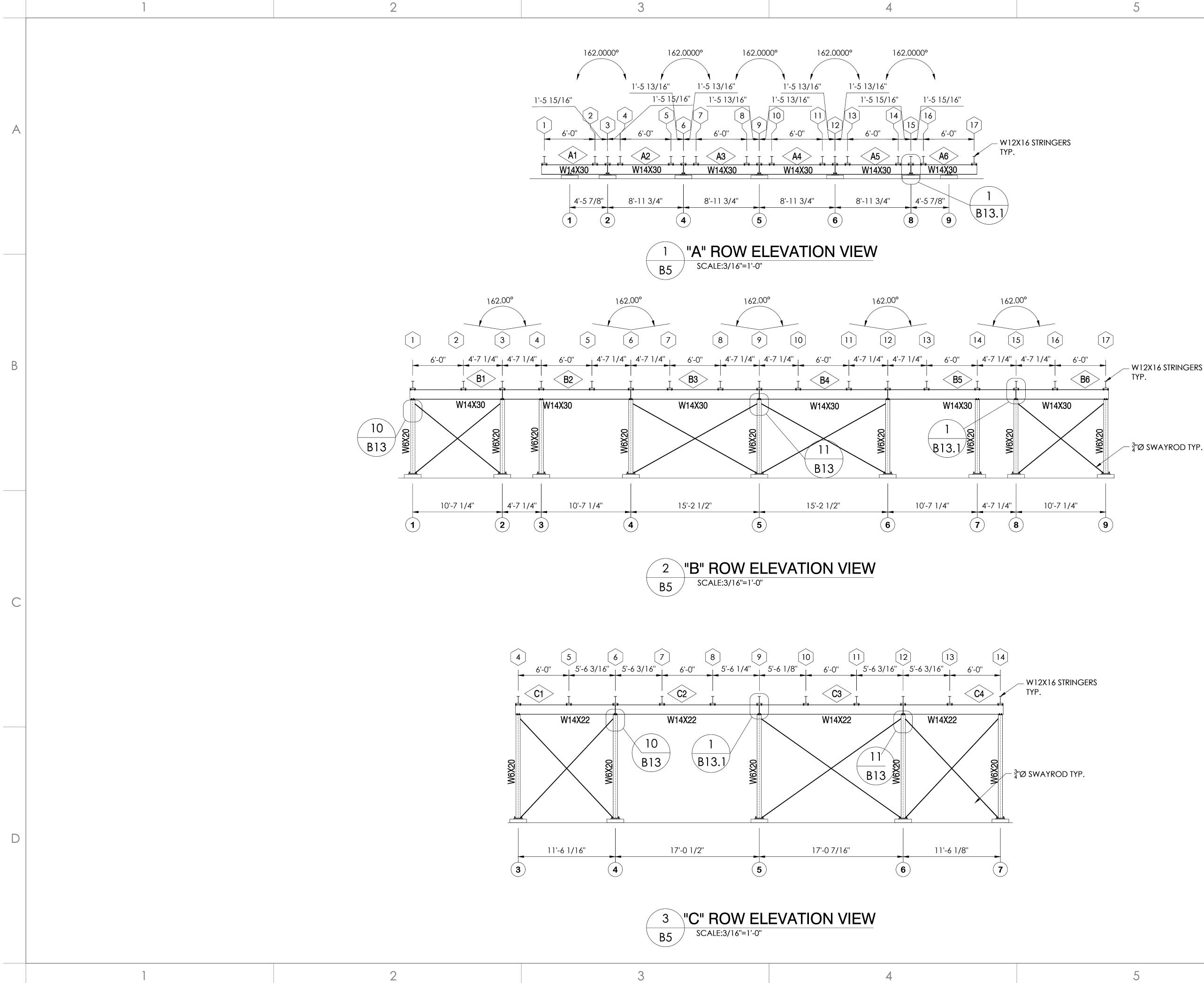




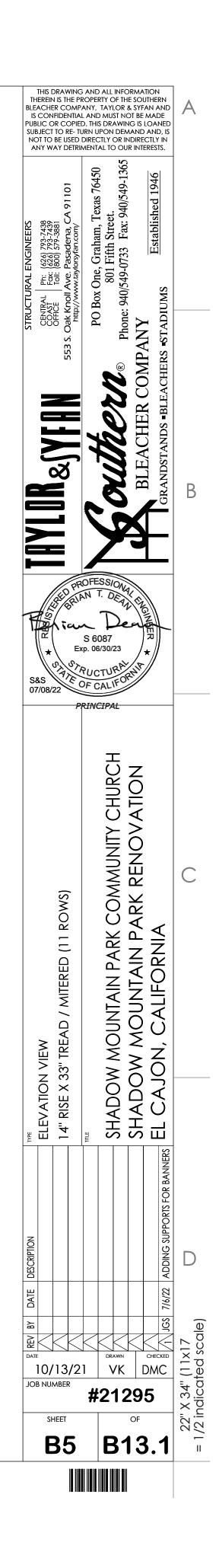




5,







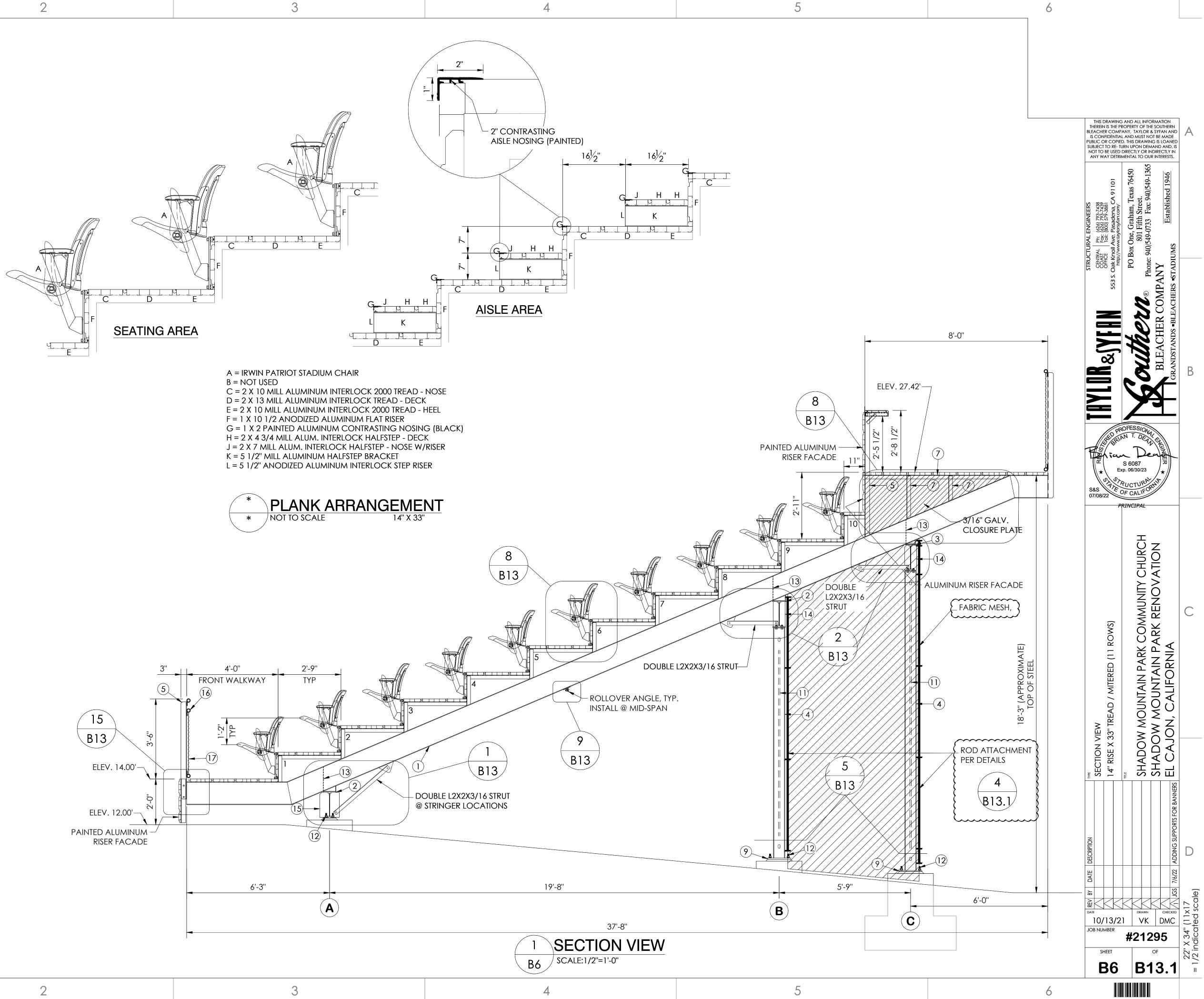
ITEM DESCRIPTION

(1) W 12 X 16 (50 ksi)

(2) W 14 X 30 (50 ksi)

(3) W 14 X 22 (50 ksi)

- (4) W 6 X 20 (50 ksi)
- (5) L 3 X 3 X 1/4 (50 ksi)
- (6) L 2 X 2 X 3/16 (50 ksi)
- (7) L 2 X 1 1/2 X 3/16 (50 ksi)
- 8 L 1 1/2 X 1 1/2 X 3/16 (50 ksi)
- (9) 12 X 12 X 5/8 PLATE
- (10) 6 X 8 X 3/8 PLATE
- (11) 3/4 X REQ'D LENGTH SWAY ROD (50 ksi)
- (12) 3/4 X 18 ANCHOR BOLT W/2 HEX HEAD NUTS & FLAT WASHER
- (13) 2 X 1/4 GUSSET PLATE (A36)
- (14) 3 X 3/8 GUSSET PLATE (A36)
- (15) 5 X 3/8 GUSSET PLATE (A36)
- (16) ANODIZED ALUMINUM RAIL (SEE NOTES)
- (17) 9 GUAGE CHAINLINK FENCE



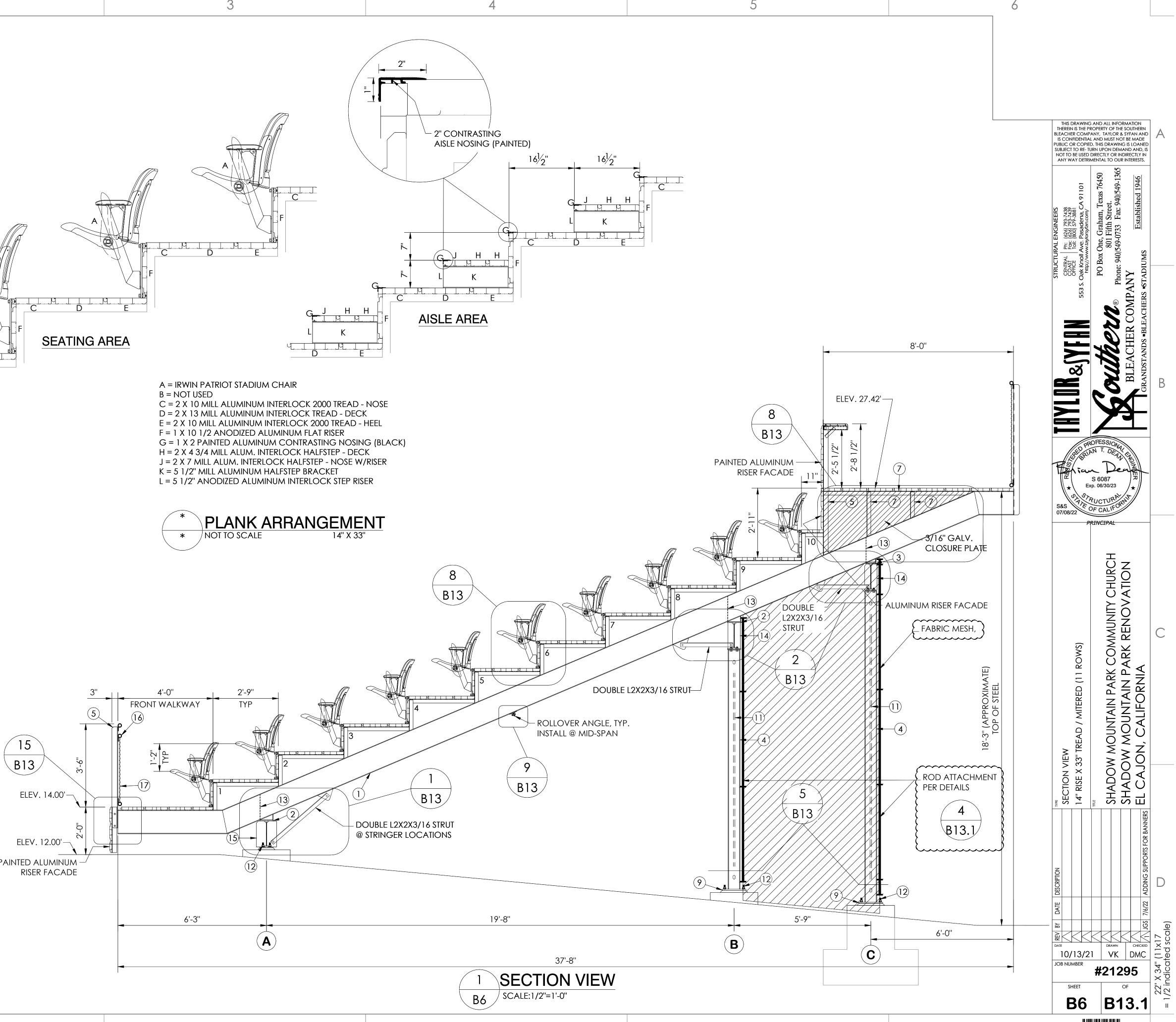


 \frown

D

B

Α





6

ITEM DESCRIPTION

(1) W 12 X 16 (50 ksi)

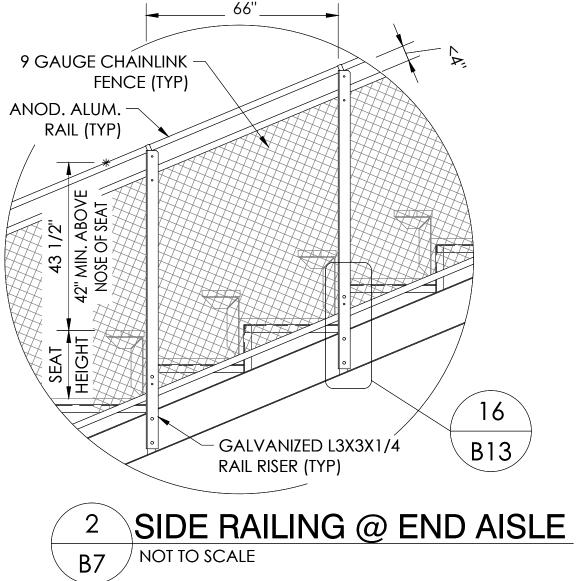
(2) W 14 X 30 (50 ksi)

(3) W 14 X 22 (50 ksi)

- (4) W 6 X 20 (50 ksi)
- (5) L 3 X 3 X 1/4 (50 ksi)
- (6) L 2 X 2 X 3/16 (50 ksi)

Α

- (7) L 2 X 1 1/2 X 3/16 (50 ksi)
- (8) L 1 1/2 X 1 1/2 X 3/16 (50 ksi)
- (9) 12 X 12 X 5/8 PLATE
- (10) 6 X 8 X 3/8 PLATE
- (11) 3/4 X REQ'D LENGTH SWAY ROD (50 ksi)
- (12) 3/4 X 18 ANCHOR BOLT W/2 HEX HEAD NUTS & FLAT WASHER
- (13) 2 X 1/4 GUSSET PLATE (A36)
- (14) 3 X 3/8 GUSSET PLATE (A36)
- (15) 5 X 3/8 GUSSET PLATE (A36)
- (16) ANODIZED ALUMINUM RAIL (SEE NOTES)
- (17) 9 GUAGE CHAINLINK FENCE

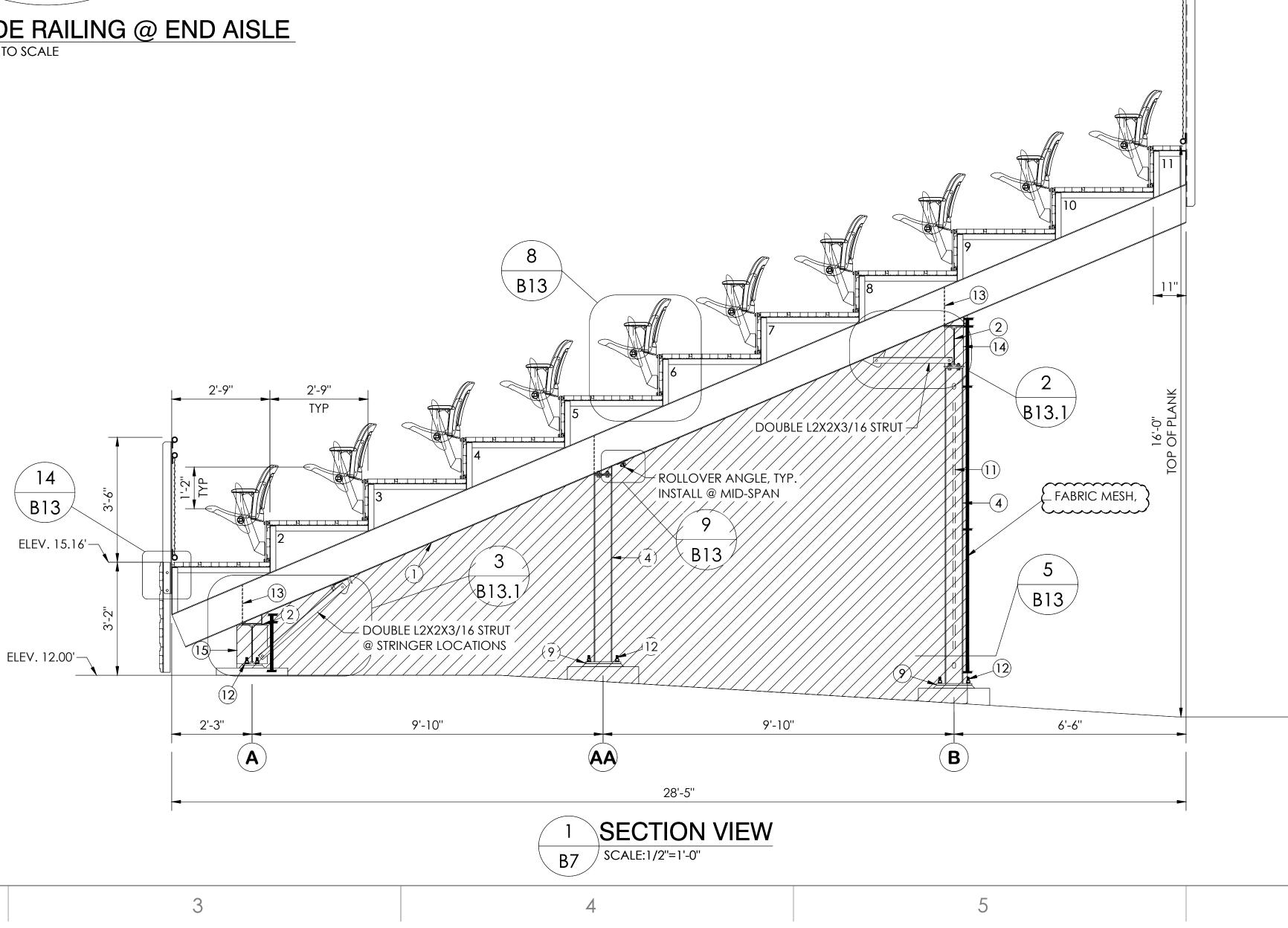


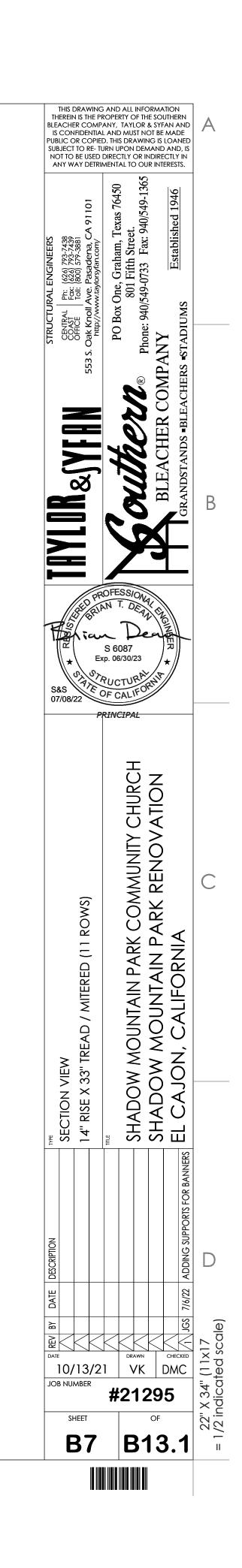


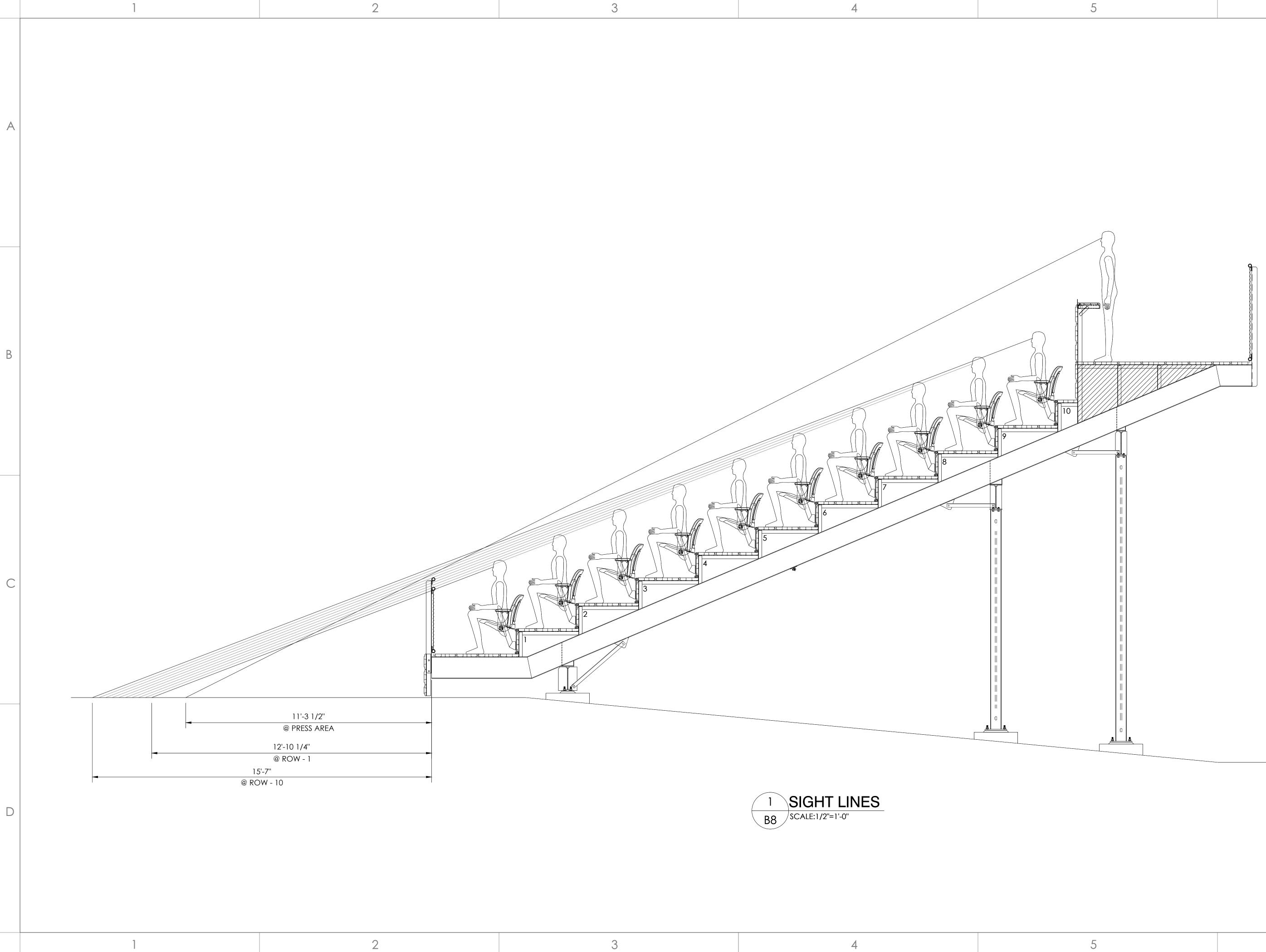
В

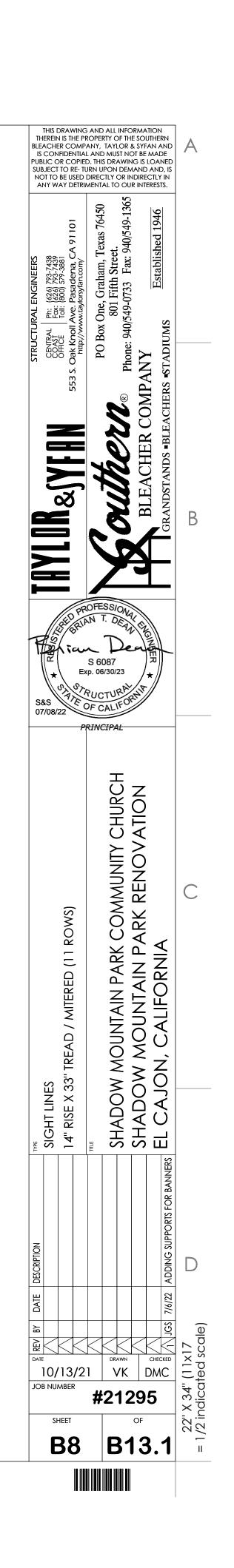


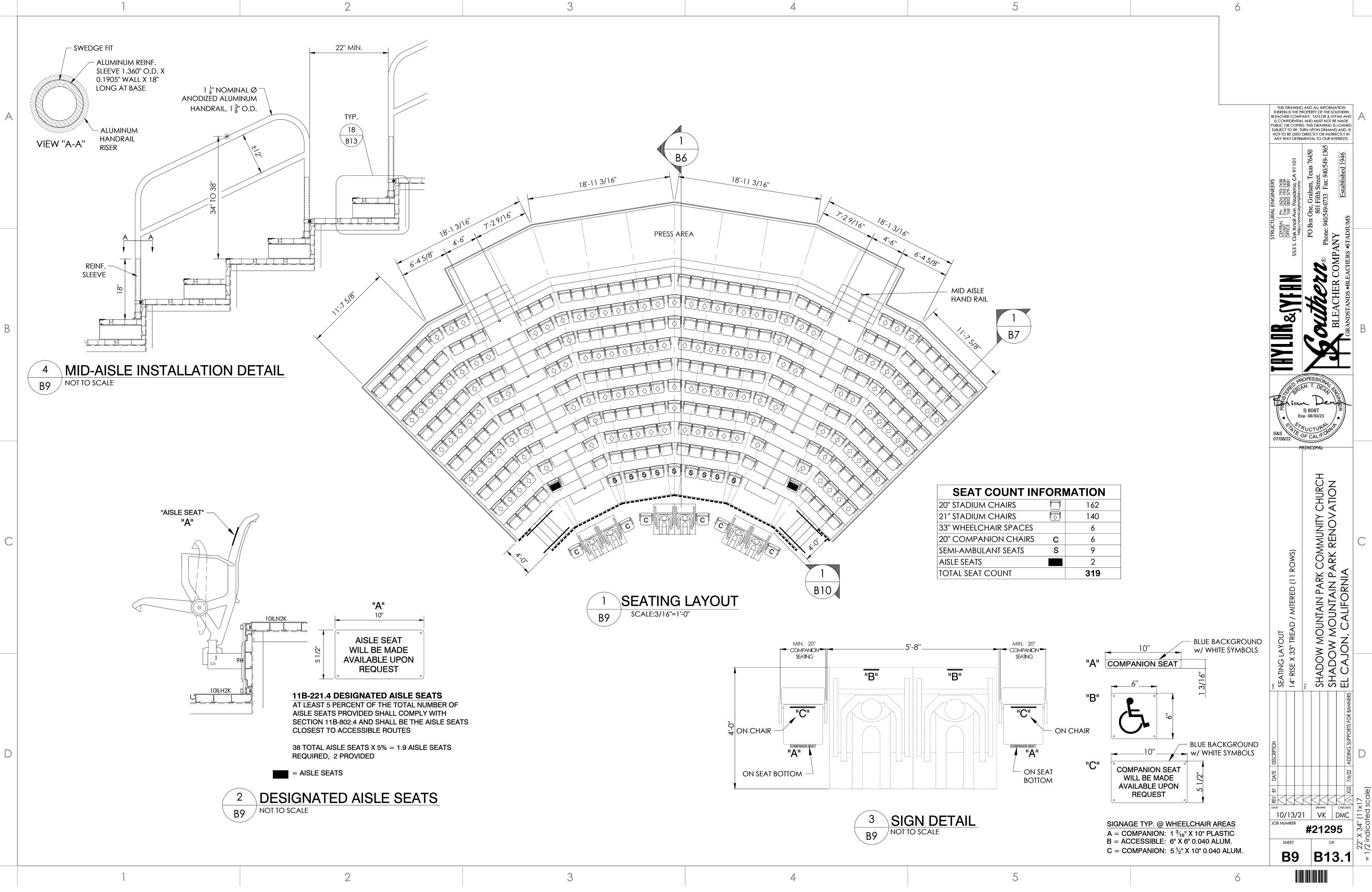






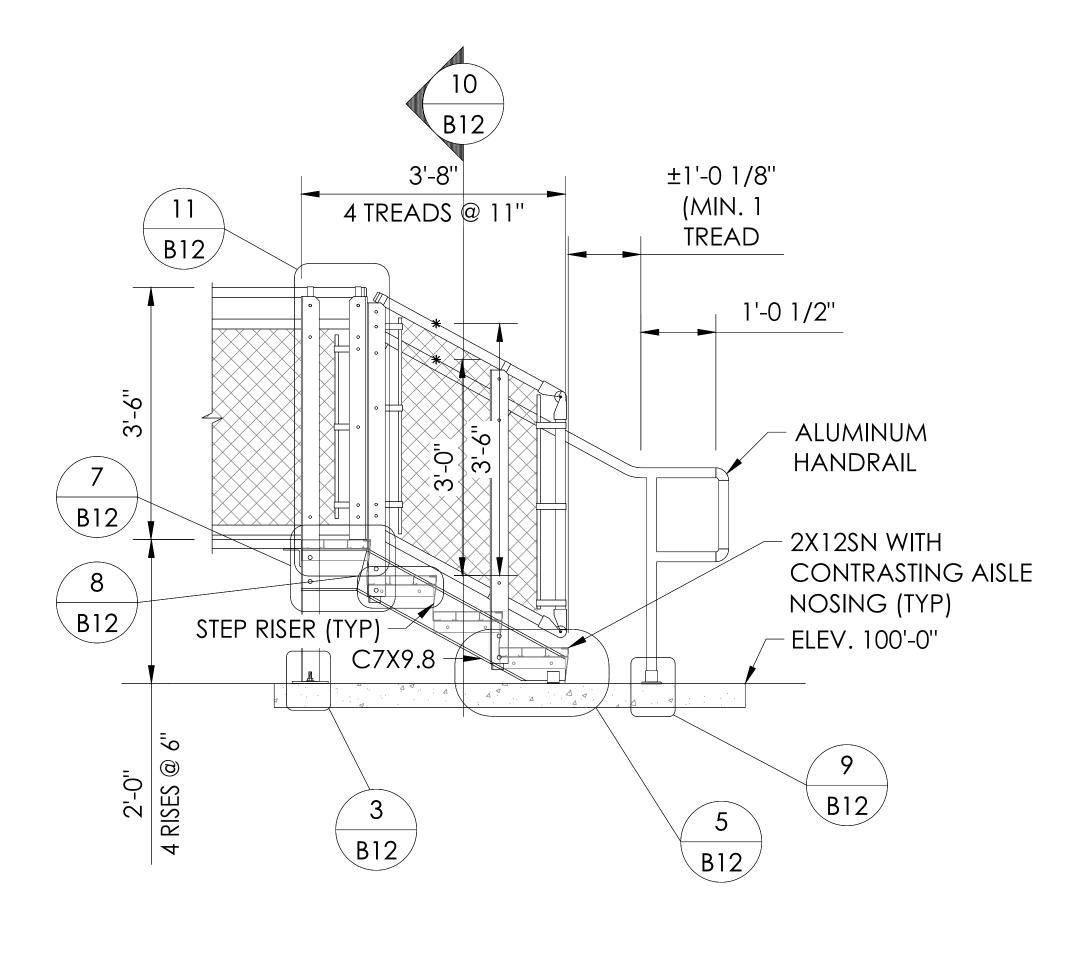




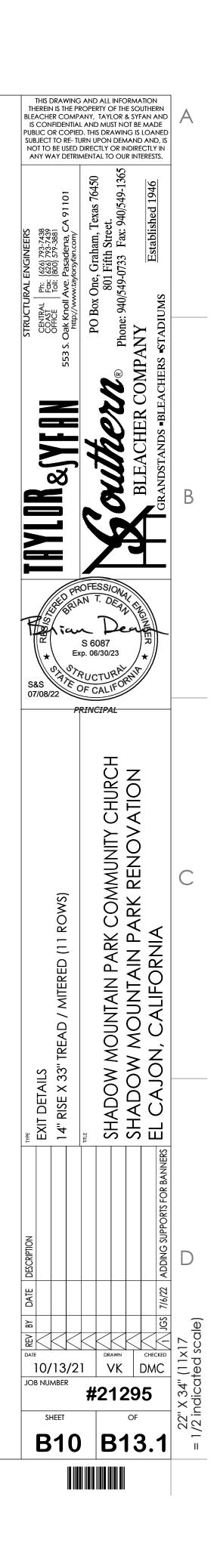


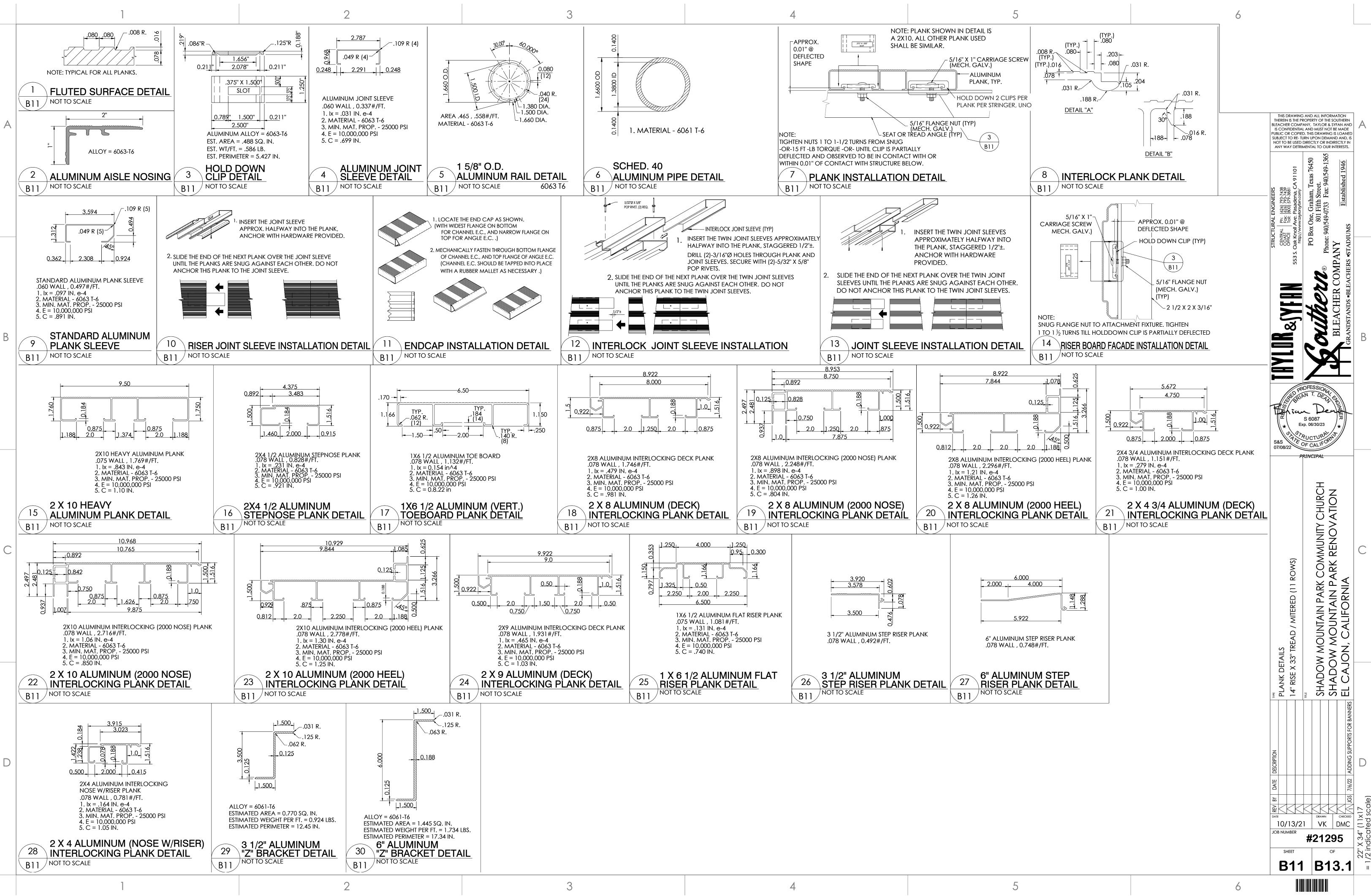
AT COUNT INI	FORM	MATION
DIUM CHAIRS		162
DIUM CHAIRS	\bigcirc	140
ELCHAIR SPACES		6
MPANION CHAIRS	С	6
ABULANT SEATS	S	9
ATS		2
EAT COUNT		319

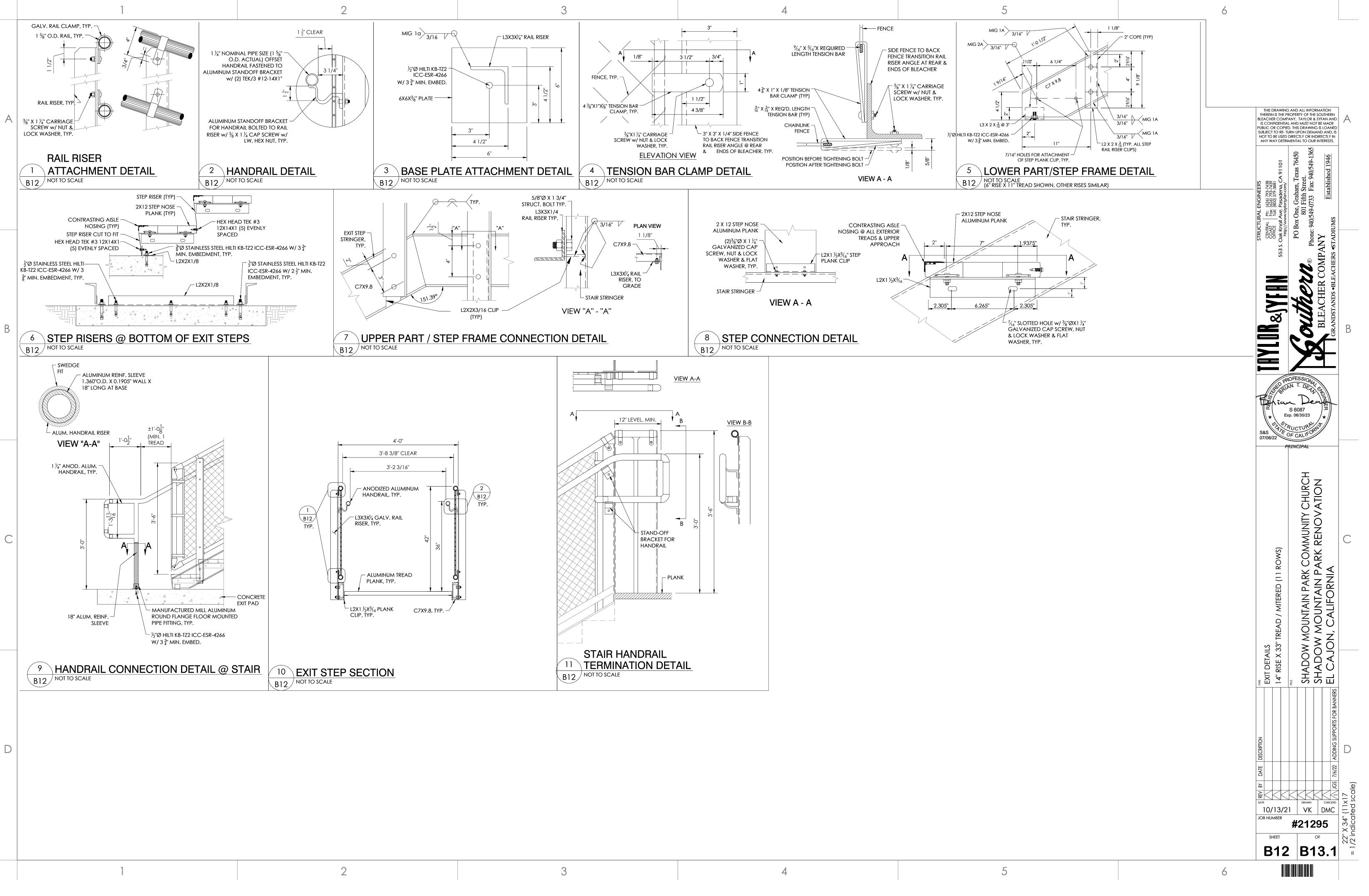
A В С D

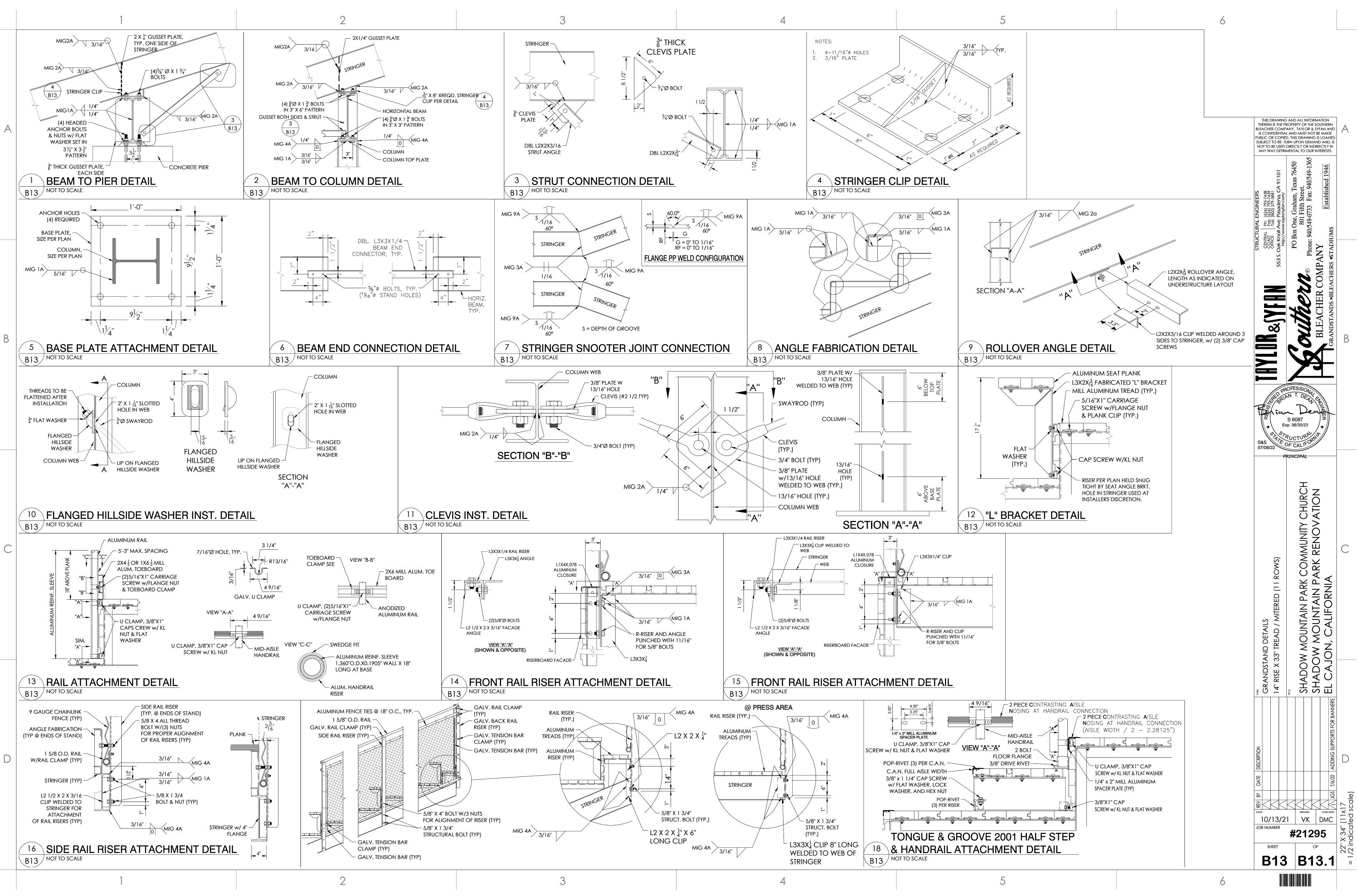


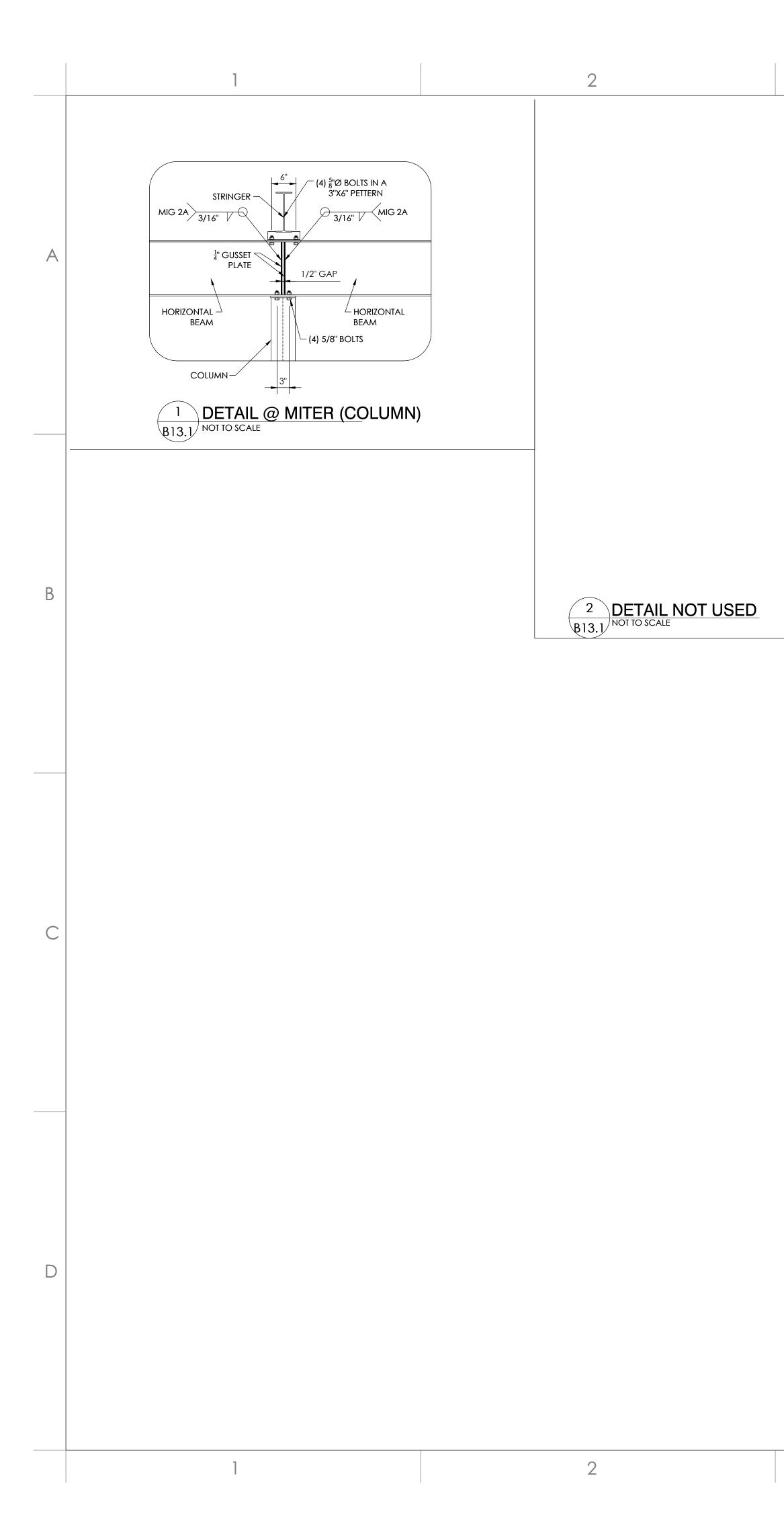


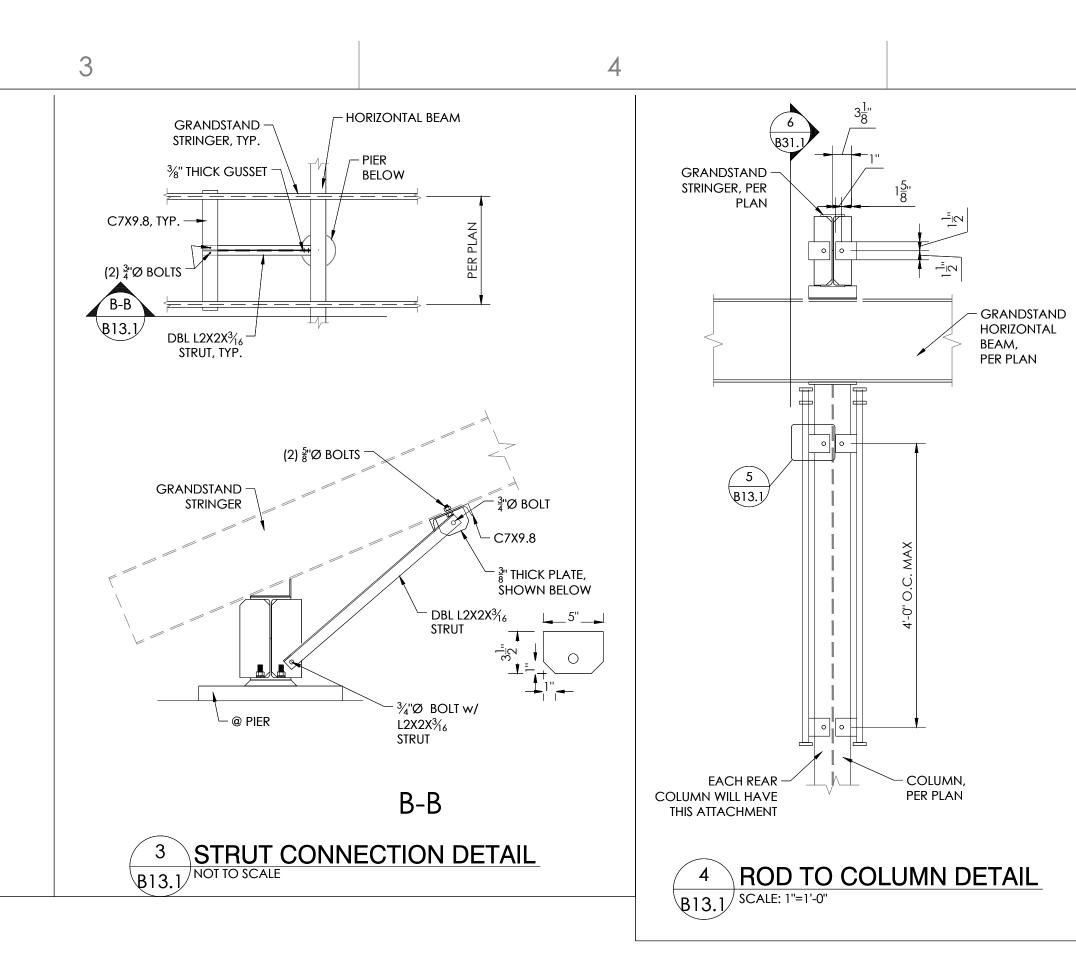




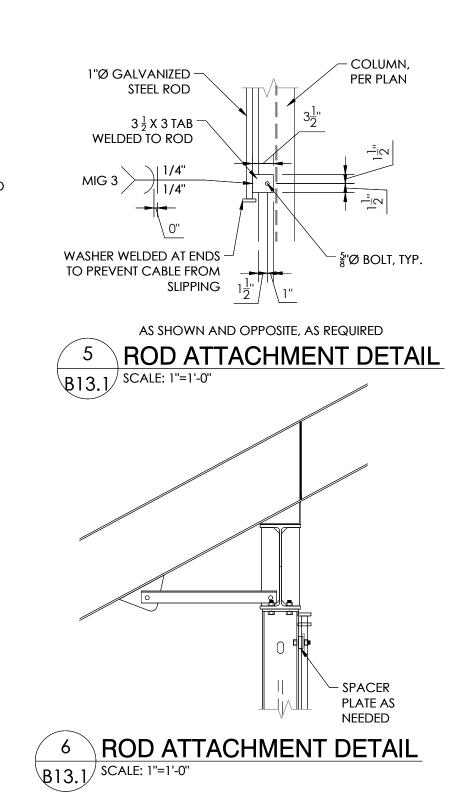


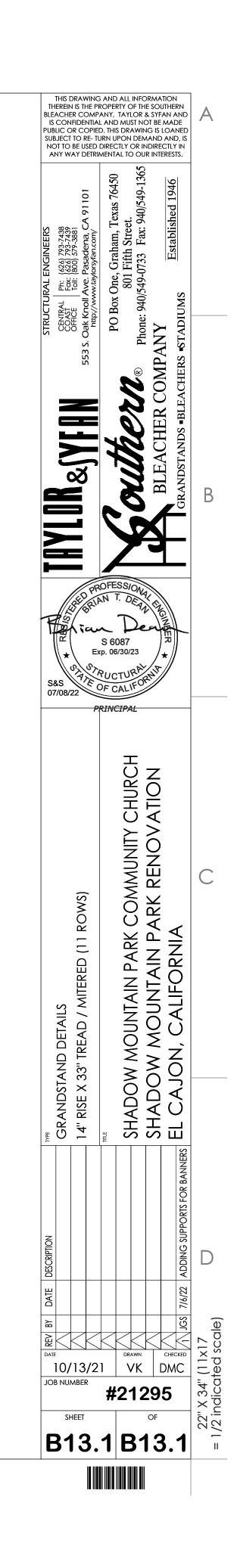














Agenda Item:	3	
Project Name:	Appeal of Director's Determination – ALDI Store	
Request:	An Appeal of the Director's Denial of a Finding of Public Convenience or Necessity for an Off-Sale Alcohol License	
CEQA Recommendation:	Exempt	
STAFF RECOMMENDATION:	CONTINUANCE TO A DATE CERTAIN, OCTOBER 4, 2022	
Location:	123 Fletcher Parkway	
Applicant:	S. Douglas Kerner; <u>kerner@higgslaw.com</u>	
Project Planner:	Noah Alvey; 619-441-1795; nalvey@elcajon.gov	
City Council Hearing Required?	No	
Recommended Actions:	1. Conduct the public hearing; and	
	2. Continue the public hearing to a date certain, October 4, 2022	

PROJECT DESCRIPTION

This is an appeal of the Community Development Department Director's determination that the public convenience or necessity (PCN) would not be served by the issuance of a State of California, Department of Alcoholic Beverage Control (ABC) Type 20 off-sale alcohol license for a retail grocery store (ALDI Store). The ALDI Store is approximately 24,000 square feet in size and located on the south side of Fletcher Parkway, west of State Route 67, at the Parkway Plaza regional shopping mall, and addressed as 123 Fletcher Parkway.

DISCUSSION

On September 15, 2022, staff received a request for continuance from the applicant's representative, Patrick Batten, to continue the public hearing for this project to a date certain on October 4, 2022. The reason for the request is that the applicant will not be able to attend the September 20, 2022 public hearing due to unforeseen circumstances.

RECOMMENDATION

Staff recommends that the Planning Commission open the public hearing and continue the request to a date certain, October 4, 2022.

PREPARED BY:

Noah Alvey

DEPUTY DIRECTOR OF COMMUNITY DEVELOPMENT **APPROVED BY:**

Anthony Shute DIRECTOROF COMMUNITY DEVELOPMENT

ATTACHMENTS

1. Request for continuance from Patrick Batten dated September 15, 2022

Noah Alvey

From:	Patrick Batten <pbatten@swspr.com></pbatten@swspr.com>
Sent:	Thursday, September 15, 2022 2:46 PN
То:	Noah Alvey
Subject:	Postponement

CAUTION: [EXTERNAL EMAIL] Do not click any links or open any attachments unless you trust the sender and know the content is safe.

Good afternoon Noah,

Due to an illness on our team, I respectfully request that the appeal is postponed from the September 20 Planning Commission hearing to the October 4 meeting.

Please advise if you need any further details.

Thanks,

Patrick Batten 858-472-3362 M

PROPOSED RESOLUTION OF INTENTION

A RESOLUTION OF INTENTION TO INITIATE AN AMENDMENT OF THE EL CAJON MUNICIPAL ZONING CODE TO CONSIDER REDEFINING LODGING ESTABLISHMENTS, ALLOWED USES, AND CERTAIN PERFORMANCE STANDARDS.

WHEREAS, the Planning Commission has determined that recent use of lodging establishments in the city has created increased public nuisance activity, including illegal drug use and disturbance of the peace; and

WHEREAS, there is evidence that this nuisance activity has resulted in increased public safety calls for service thereby stressing police and fire department resources; and

WHEREAS, at its meeting of September 20, 2022, the Planning Commission directed staff to initiate an amendment to the El Cajon Zoning Code and return to the Planning Commission as quickly as possible.

NOW, THEREFORE, BE IT RESOLVED that the El Cajon City Planning Commission hereby sets to public hearing the consideration of an amendment of the Zoning Code to redefine lodging establishments, allowed uses, and certain performance standards.

Said hearing will be held on Tuesday, October 4, 2022 at 7:00 p.m. in the Council Chambers at 200 Civic Center Way, El Cajon, California.

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held September, 20, 2022, by the following vote:

AYES: NOES: ABSENT:

Darrin MROZ, Chair

ATTEST:

Noah ALVEY, Secretary