



# City of El Cajon

## Planning Commission Agenda

### Tuesday, October 5, 2021 Meeting

#### 7:00 PM

ANTHONY SOTTILE, Chair  
DARRIN MROZ, Vice Chair  
PAUL CIRCO  
REBECCA POLLACK-RUDE  
ELIZABETH VALLES

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA, 92020

Please note that, pursuant to State and County Health Orders, in-person meetings have resumed. The public is welcome to attend and participate.

The meeting will be live-streamed through the City website at: <https://www.elcajon.gov/your-government/city-meetings-with-agendas-and-minutes-all>.

To submit written comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to [planning@elcajon.gov](mailto:planning@elcajon.gov) before 5 p.m. on Tuesday, October 5, 2021. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

If you are not able to physically participate in the public hearing and would like to provide verbal comments during the meeting, please contact the City of El Cajon Planning, at [planning@elcajon.gov](mailto:planning@elcajon.gov) or 619.441.1742, a minimum of 24 hours in advance of the meeting.

The City of El Cajon is endeavoring to be in total compliance with the Americans with Disabilities Act. If you require assistance or auxiliary aids in order to participate at the Commission meeting, please contact our office at 619.441.1742 as soon as possible.

#### CALL TO ORDER

#### PLEDGE OF ALLEGIANCE

#### ROLL CALL

#### CHAIRPERSON'S WELCOME

#### PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

#### CONSENT

|              |  |
|--------------|--|
| Agenda Item: | 1  |
|              | Planning Commission minutes of September 7, 2021 |

*Decisions and Appeals - A decision of the Planning Commission is not final until the appeal period expires 10 days from the date of the Commission's action. The appeal period for the items on this Agenda will end on Monday, October 18, 2021 at 5:00 p.m., except Agenda items which are forwarded to City Council for final action need not be appealed.*

**PUBLIC HEARINGS**

|                                       |   |
|---------------------------------------|---|
| <b>Agenda Item:</b>                   | <b>2</b>  |
| <b>Project Name:</b>                  | <b>Broadway Auto Repair</b>   |
| <b>Request:</b>                       | <b>New Auto Repair Building and Use</b>   |
| <b>CEQA Recommendation:</b>           | <b>Exempt</b>   |
| <b>STAFF RECOMMENDATION:</b>          | <b>APPROVE</b>  |
| <b>Project Number(s):</b>             | Conditional Use Permit (CUP) No. 2020-0010  |
| <b>Location:</b>                      | 1316 Broadway, APN: 484-232-23-00   |
| <b>Applicant:</b>                     | Layth Busheer; 619-504-7666   |
| <b>Project Planner:</b>               | Alfonso Camacho; 619-441-1782; acamacho@elcajon.gov   |
| <b>City Council Hearing Required?</b> | No  |
| <b>Recommended Actions:</b>           | 1. Conduct the public hearing; and<br>2. MOVE to adopt the next resolutions in order, APPROVING the CEQA exemption and CUP-2020-0010 subject to conditions. |

**4. OTHER ITEMS FOR CONSIDERATION****5. STAFF COMMUNICATIONS**

- a. SB 9
- b. Microenterprise Home Kitchen Operations
- c. Zoning Code Update Discussion

**6. COMMISSIONER REPORTS/COMMENTS****7. ADJOURNMENT**

This Planning Commission meeting is adjourned to October 19, 2021 at 7 p.m.



## **MINUTES PLANNING COMMISSION MEETING September 7, 2021**

*The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.*

### **PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.**

**COMMISSIONERS PRESENT:** Anthony SOTTILE (Chair)  
Darrin MROZ (Vice Chair)  
Paul CIRCO  
Rebecca POLLACK-RUDE  
Elizabeth VALLES

**COMMISSIONERS ABSENT:** NONE

**STAFF PRESENT:** Anthony SHUTE, Director of Community Development  
Spencer HAYES, Associate Planner  
Barbara LUCK, Staff Attorney  
Jeffrey MANCHESTER, Deputy Director of Public Works  
Laura JUSZAK, Administrative Secretary

Chair SOTTILE opened the Planning Commission meeting explaining the rules of conduct.

### **PUBLIC COMMENT:**

There was no public comment.

### **CONSENT CALENDAR:**

|                     |   |
|---------------------|---|
| <b>Agenda Item:</b> | <b>1</b>  |
|                     | <b>Planning Commission minutes of July 20, 2021</b> |

Motion was made by CIRCO, seconded by MROZ, to approve the July 20, 2021 minutes; carried 5-0.

**PUBLIC HEARING ITEM:**

|                                       |   |
|---------------------------------------|---|
| <b>Agenda Item:</b>                   | <b>2</b>  |
| <b>Project Name:</b>                  | <b>Melody Lane Subdivision</b>  |
| <b>Request:</b>                       | <b>Five-lot subdivision in the RS-6 zone</b>  |
| <b>CEQA Recommendation:</b>           | <b>Exempt</b>   |
| <b>STAFF RECOMMENDATION:</b>          | <b>RECOMMEND CITY COUNCIL APPROVAL</b>  |
| <b>Project Number(s):</b>             | Tentative Subdivision Map (TSM)-2020-0002   |
| <b>Location:</b>                      | 1493 Melody Lane  |
| <b>Applicant:</b>                     | Ryan Mikha; Melody Lane Investment, LLC; 619-375-0555   |
| <b>Project Planner:</b>               | Spencer Hayes; shayes@elcagon.gov; 619-441-1656   |
| <b>City Council Hearing Required?</b> | Yes September 28, 2021  |
| <b>Recommended Actions:</b>           | <ol style="list-style-type: none"><li>1. Conduct the public hearing; and</li><li>2. MOVE to adopt the next resolutions in order, recommending City Council approval of TSM-2020-0002.</li></ol> |

HAYES summarized the staff report through a PowerPoint presentation. Staff recommended that the Planning Commission adopt the resolutions recommending City Council approve the project.

Neighbor Sally JAMES spoke of the history of the property and the possibility of dumped items. She also expressed concerns about weeds on the property and traffic on Melody Lane. No public comments were received either before or during the meeting.

Motion was made by SOTTILE, seconded by MROZ, to close the public hearing; motion carried 5-0.

VALLES asked if a traffic study would be required for the project, HAYES said the project size would not require one.

Motion was made by CIRCO, seconded by VALLES to adopt the resolutions approving Tentative Subdivision Map No.2020-0002; motion carried 5-0.

This item is joint-noticed for a City Council public hearing at 7:00 p.m., Tuesday, September 28, 2021.



|                                       |  |
|---------------------------------------|--|
| <b>Agenda Item:</b>                   | <b>3</b>   |
| <b>Project Name:</b>                  | <b>Saddlebrook Accessory Structure</b>   |
| <b>Request:</b>                       | <b>Build a detached accessory structure with restroom</b>  |
| <b>CEQA Recommendation:</b>           | <b>Exempt</b>  |
| <b>STAFF RECOMMENDATION:</b>          | <b>APPROVE</b>   |
| <b>Project Number(s):</b>             | Conditional Use Permit No. 2021-0002 (CUP-2021-0002)   |
| <b>Location:</b>                      | 117 Saddlebrook Way  |
| <b>Applicant:</b>                     | Mour Group Engineering + Design; 619-727-4800  |
| <b>Project Planner:</b>               | Spencer Hayes; shayes@elcagon.gov; 619-441-1656  |
| <b>City Council Hearing Required?</b> | Yes   September 28, 2021   |
| <b>Recommended Actions:</b>           | <ol style="list-style-type: none"> <li>1. Conduct the public hearing; and</li> <li>2. MOVE to adopt the next resolution in order, approving CUP-2021-0002, subject to conditions.</li> </ol> |

HAYES summarized the staff report through a PowerPoint presentation. Staff recommended that the Planning Commission adopt the resolution approving the project.

No public comments were received either before or during the meeting.

Motion was made by SOTTILE, seconded by CIRCO, to close the public hearing; motion carried 5-0.

Motion was made by MROZ, seconded by POLLACK-RUDE, to adopt the resolutions approving CUP-2021-0002.; motion carried 5-0.

#### **STAFF COMMUNICATIONS:**

There were none.

#### **ADJOURNMENT:**

Motion was made by CIRCO, seconded by SOTTILE, to adjourn the meeting of the El Cajon Planning Commission at 7:24 p.m. this 7th day of September 2021 until 7:00 p.m., Tuesday, September 21, 2021; carried 5-0.

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Anthony SOTTILE, Chair

ATTEST:

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Anthony SHUTE, Secretary



Community Development Department  
**PLANNING COMMISSION AGENDA REPORT**

|                                       |   |
|---------------------------------------|---|
| <b>Agenda Item:</b>                   | <b>2</b>  |
| <b>Project Name:</b>                  | <b>Broadway Auto Repair</b>   |
| <b>Request:</b>                       | <b>New Auto Repair Building and Use</b>   |
| <b>CEQA Recommendation:</b>           | <b>Exempt</b>   |
| <b>STAFF RECOMMENDATION:</b>          | <b>APPROVE</b>  |
| <b>Project Number:</b>                | Conditional Use Permit (CUP) No. 2020-0010  |
| <b>Location:</b>                      | 1316 Broadway APN: 484-232-23-00  |
| <b>Applicant:</b>                     | Layth Busheer; 619-504-7666   |
| <b>Project Planner:</b>               | Alfonso Camacho; 619-441-1782; acamacho@elcajon.gov   |
| <b>City Council Hearing Required?</b> | No  |
| <b>Recommended Actions:</b>           | <ol style="list-style-type: none"> <li>1. Conduct the public hearing; and</li> <li>2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2020-0010 subject to conditions.</li> </ol> |

### PROJECT DESCRIPTION

This project proposes to demolish and replace an existing legal non-conforming auto repair building with a new auto repair building to include five repair bays, trash enclosure, storage structure, parking and driveway aisle at an irregular shape lot. The project proposes construction of a two story 3,614 sq. ft. building, 158 sq. ft. storage structure and trash enclosure. The site is addressed as 1316 Broadway.

### BACKGROUND

|                                    |                          |
|------------------------------------|--------------------------|
| <b>General Plan:</b>               | General Commercial (G-C) |
| <b>Specific Plan:</b>              | N/A                      |
| <b>Zone:</b>                       | C-G (General Commercial) |
| <b>Other City Plan(s):</b>         | None                     |
| <b>Regional and State Plan(s):</b> | None                     |
| <b>Notable State Law(s):</b>       | None                     |

### Project Site & Constraints

The site is approximately 7,705 square feet and has a narrow irregular shape that has one way access from Broadway and one way exit to an existing alley. The width of the lot along Broadway is 35 feet and the width along the alley is 20 feet.

### Surrounding Context

Properties surrounding the site are developed and zoned as follows:

| Direction               | Zones | Land Uses               |
|-------------------------|-------|-------------------------|
| North                   | RS-6  | Single-family residence |
| South (across Broadway) | C-G   | Retail                  |
| East                    | C-G   | Auto repair             |
| West                    | C-G   | St. Paul PACE Center    |

### General Plan

The project site is designated General Commercial (GC) on the General Plan Land Use Map. As described in the General Plan, the GC designated areas are intended for various retail and office uses. General Plan Objective 9-4 states that commercial development shall be subject to sound design requirements and strict standards of performance, and policy 9-4.3 states that commercial developments shall minimize conflicts with surrounding residential uses.

### Zoning Code

El Cajon Municipal Code (ECMC) section 17.145.150 for the commercial land uses indicates that auto repair can be established or expanded by CUP. The CUP is intended to ensure compliance with applicable development standards and compatibility with surrounding properties. Development standards are provided in ECMC chapter 17.145. All uses and operations in the City are subject to performance standards in the Zoning Code that address noise, odors, fumes, and vibrations.

## **DISCUSSION**

### *Context*

The property was originally developed as a residential single family property and on February 25, 1969 the property was rezoned from Residential Single-Family (R-1) to General Commercial (C-2). After the rezone, the property operated as an office use, and in 1971 a second building was constructed and labeled as a workshop under building permit number 2970-71. There is no record of the transition to auto repair.

The property is considered legal non-conforming and subject to ECMC section 17.120.030 that requires a CUP for expansion of nonconforming uses or structures.

### *Compatibility*

The proposed auto repair use would be conducted within the proposed building's auto service bays. An existing auto repair use operates immediately to the east of the subject property, while the St. Paul Pace Center's parking lot is located adjacent to the west.

In order to ensure that the use is compatible with nearby residential uses including the property to the north, conditions of approval will limit the operation of the auto repair use to daytime business hours. Exterior noise levels would be mitigated by the building wall and the block wall along the perimeter of the property. The operation will be

required to comply with daytime noise standards of 65 one-hour average weighted decibels (dba) at the property line.

#### *Building Design & Site Improvements*

The proposed two story building is located along the western property line, approx. 66 feet from the Broadway entrance and 17 feet away from the northern property line. The 2,178 square foot first floor contains an office/waiting area, restroom and four repair bays. The 389 square footage second floor includes an office, storage, restroom and deck. The second floor also includes an approximate 990 square foot roof overhang feature that cantilevers over the one-way driveway that extends to approximately 2 feet 8 inches from the eastern property line.

The building design includes metal awnings, one roll up door and windows on the front elevation (facing Broadway) with three roll up doors, windows, metal louvers and a stucco finish throughout the remaining elevations. The roof overhang feature provides a 20 feet tall vehicle clearance over the driveway.

The site includes three angled parking spaces in front of the building and one space to the rear of the property. The angled design best fits the site due to its irregular shape. The site includes a one way entrance (from Broadway) that leads to the proposed building (south to north) for repair services, after which vehicles will continue north until the shape of the lot requires the driveway to lead east towards the existing alley. The only exit would enter the alley from the site.

The proposal also includes a total of 390 square feet of new landscaping (one planter in the front along Broadway and another at the rear of the property), a 158 square foot detached storage structure and trash enclosure along the southern property line near the exit to the alley.

The site design is intended for repair work to be completely within the building's repair bays while allowing continuous vehicle access and circulation through the one way driveway, there is no opportunity for the tenant to store repair vehicles on site since the driveway cannot be blocked and the parking spaces are to be used by employees and customers.

#### *Conditions of Approval*

Appropriate conditions of approval will ensure that the use is compatible with adjacent uses and that the property is in compliance with the Zoning Code. A condition of approval will require all work to be conducted inside the repair bays. No outdoor repair work is permitted. The driveway aisle shall remain open while customer parking shall be entirely within the site with no vehicles associated with service to be parked on public streets.



## FINDINGS

The Commission shall approve issuance of the permit upon meeting the CUP findings listed in ECMC section 17.50.060. If the Commission can make all of the findings, it must approve the issuance of the CUP. The findings for CUP approval are as follows:

- A. *The proposed project is consistent with applicable goals, policies, and programs of the General Plan and with any applicable specific plan.*

The General Plan envisions a variety of commercial uses in General Commercial areas. Broadway is a primary commercial corridor and is developed with various auto-oriented serving uses. With compliance with the conditions of approval, the auto repair use would be consistent with the applicable General Plan Policies.

- B. *The proposed site plan and building design are consistent with all applicable use and development standards.*

The project is consistent with all applicable use and development standards of the C-G zone while improving the site design of this irregular shaped lot with adequate repair bays, parking, a trash enclosure and clear driveway access.

- C. *The proposed project will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.*

The auto repair use is compatible with other auto-oriented commercial uses in the area. Ongoing conditions of approval and compliance with performance standards will ensure that the property continues to be compatible with surrounding uses. Conditions include all repair work to be conducted at all times within the repair bays, driveways to remain clear and sound mitigation with walls and limited hours of operation.

- D. *The proposed project will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.*

The proposed auto repair use would not be detrimental to public health and safety. The project would be required to adhere to conditions of approval to limit the operations to daytime business hours. In addition, the operation would be subject to performance standards that limit noise levels and ensure that any fumes, odors, or vibrations do not become a nuisance. The use will be governed by the CUP to ensure continued compliance.

- E. *The proposed use is in the best interest of public convenience and necessity.*

The proposed auto repair use would allow for a viable use of a legal non-conforming commercial building. The building was not originally constructed as an auto service facility, therefore the proposed building and site design will allow for improved utilization of the existing use, which is in the interest of public convenience and necessity.

utilization of the existing use, which is in the interest of public convenience and necessity.

#### **CALIFORNIA ENVIRONMENTAL QUALITY ACT**

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) according to section 15303, Class 3 (New construction or conversion of small structures) of the CEQA Guidelines. Section 15303 provides exemption for a project that meets the following criteria: the project is consistent with applicable general plan designations and zoning regulations; the proposed development involves a replacement structure not involving the use of significant amounts of hazardous substances, and not exceeding a significant increase in of floor area. Therefore, the project meets criteria for a Class 3 exemption. None of the exemptions listed under CEQA Guidelines section 15300.2 exist.

#### **PUBLIC NOTICE & INPUT**

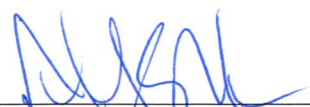
Notice of this public hearing was mailed on September 10, 2021, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website. No comments were received in response to the public hearing notice.


#### **RECOMMENDATION**

Staff recommends Planning Commission approval of CUP-2020-0010 for a new auto repair building and improved site design for the existing an auto repair use at 1316 Broadway subject to conditions.

**PREPARED BY:**

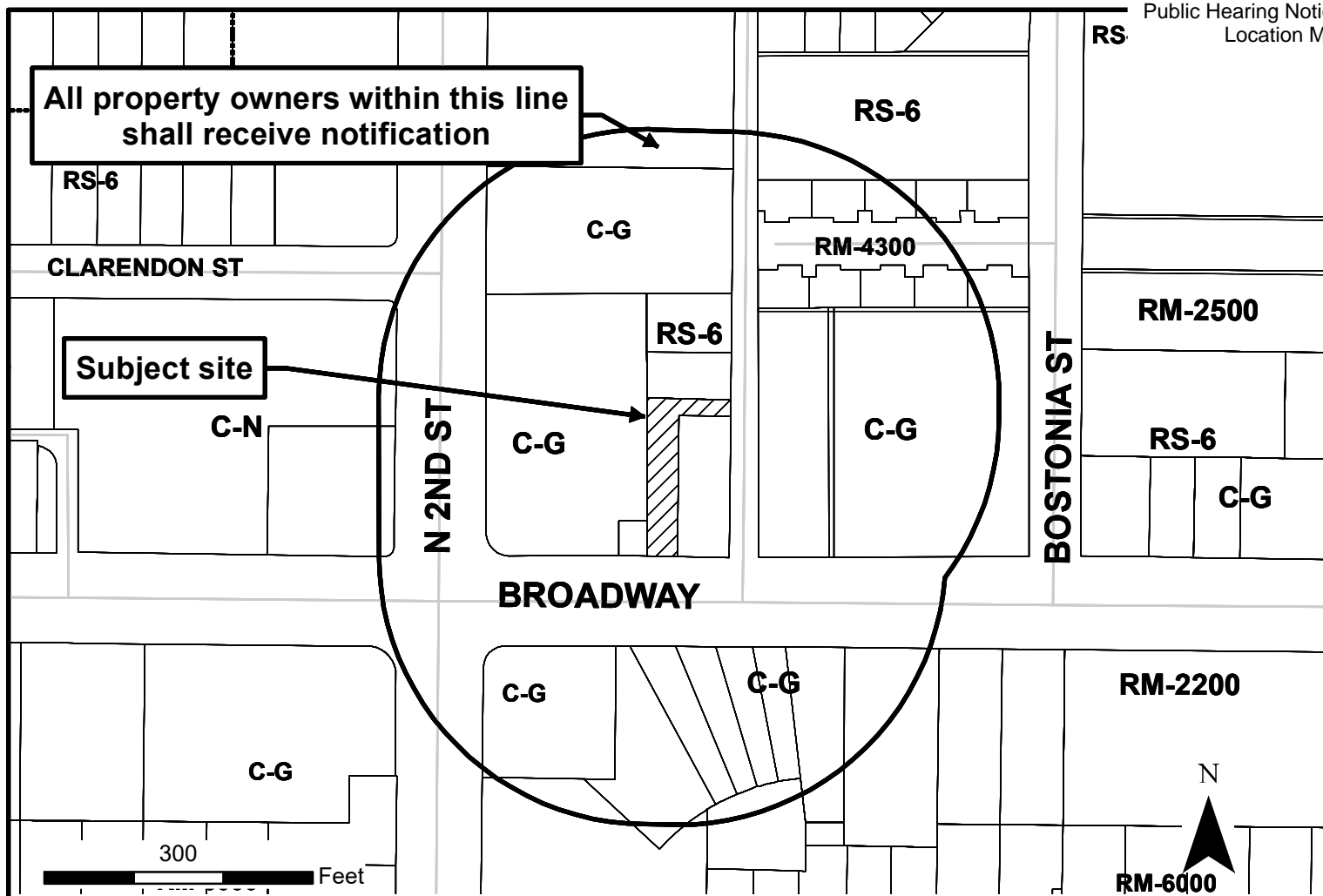
**APPROVED BY:**

  
\_\_\_\_\_  
Alfonso Camacho  
ASSOCIATE  
PLANNER

  
\_\_\_\_\_  
Anthony Shute  
DIRECTOR OF  
COMMUNITY  
DEVELOPMENT

## **ATTACHMENTS**

1. Public Hearing Notice/Location Map
2. Proposed Resolution APPROVING CEQA exemption
3. Proposed Resolution APPROVING CUP No. 2020-0010
4. Aerial Photograph of Subject Site
5. Application & Disclosure Statement
6. Project Plans
7. Standard Conditions of Development



**NOTICE OF PROPOSED  
CONDITIONAL USE PERMIT  
BROADWAY AUTO REPAIR**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, October 5, 2021**, in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

**CONDITIONAL USE PERMIT NO. 2020-0010** as submitted by Rabie Mikha on behalf of Layth Basheer, requesting to permit a 1,655 square-foot two story auto repair use with office and repair bays. The development includes the demolition of the existing commercial building and construction of the new auto repair building, storage structure, and driveway improvements. The subject property is located on the north side of Broadway between North 2<sup>nd</sup> and Bostonia Streets and is addressed as 1316 Broadway. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.cityofelcajon.us/your-government/city-meetings-with-agendas-and-minutes-all>. Please contact Planning at 619-441-1742 if a paper copy of the agenda is needed.

Due to the highly contagious nature of the Covid-19 virus, the Planning Commission may attend the meeting telephonically. The City has provided alternative means to observe the meeting through participation in the online meeting. Meeting details will be available in the meeting agenda 72 hours in advance of the meeting.

Members of the public who wish to send comments on this item, or a Public Comment, are asked to follow the directions in the agenda to provide comments. Comments will be received up to the vote or conclusion of each item. The Planning Commission will endeavor to include all comments prior to taking action and will announce when the comment period for an item will conclude, prior to taking any action or concluding the discussion on the item.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.cityofelcajon.us/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **Alfonso Camacho** at 619-441-1782 or via email at [acamacho@elcajon.gov](mailto:acamacho@elcajon.gov) and reference "CUP-2020-0010" in the subject line.

## PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES) FOR CONDITIONAL USE PERMIT NO. 2020-0010 FOR AN AUTO REPAIR USE ON THE NORTH SIDE OF BROADWAY BETWEEN NORTH 2<sup>nd</sup> AND BOSTONIA STREETS IN THE GENERAL COMMERCIAL (C-G) ZONE, APN: 484-232-23, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC).

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on October 10, 2021, to consider Conditional Use Permit (CUP) No. 2020-0010, as submitted by Layth Basheer, requesting auto repair in the General Commercial (C-G) zone, on the north side of Broadway between North 2<sup>nd</sup> and Bostonia Streets, and addressed as 1316 Broadway, APN: 484-232-23; and

WHEREAS, in accordance with CEQA Guidelines section 150061(b)(2), the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, it is proposed that the project is exempt from CEQA under section 15303, Class 3 (New construction or conversion of small structures) of CEQA Guidelines. Section 15303 provides an exemption for a project that meets the following criteria: the project is consistent with applicable general plan designations and zoning regulations; the proposed development involves a replacement structure not involving the use of significant amounts of hazardous substances, and not exceeding a significant increase in of floor area; and

WHEREAS, the proposed auto repair is consistent with the General Commercial land use designation and C-G zone and meets all developments standards; and

WHEREAS, the project site is currently developed with no potential for habitat, served by utilities and within a fully urbanized area; and

WHEREAS, the project is not anticipated to result in any significant impacts related to traffic, noise, air or water quality; and

WHEREAS, none of the exemptions listed under CEQA Guidelines section 15300.2 exist; and

WHEREAS, the Planning Commission reviewed and considered the information contained in the project staff report; and



Proposed Planning Commission Resolution

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed CEQA exemption for The Broadway Auto Repair Conditional Use Permit No. 2020-0010.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the CEQA exemption.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held October 5, 2021, by the following vote:

AYES:

NOES:

ABSENT:

ATTEST:

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Anthony SOTTILE, Chair

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Anthony SHUTE, Secretary

## PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2020-0010 FOR A NEW AUTO REPAIR BUILDING AND USE ON THE NORTH SIDE OF BROADWAY BETWEEN NORTH 2<sup>ND</sup> AND BOSTONIA STREETS IN THE GENERAL COMMERCIAL (C-G) ZONE, APN: 484-232-23, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC).

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on October 5, 2021, to consider Conditional Use Permit (CUP) No. 2020-0010, as submitted by Layth Basheer, requesting a new auto repair building and use in the General Commercial (C-G) zone, on the north side of Broadway between North 2<sup>nd</sup> and Bostonia Streets, and addressed as 1316 Broadway, APN: 484-232-23; and

WHEREAS, the El Cajon Planning Commission approved the next resolution in order approving the California Environmental Quality Act (CEQA) section 15303 exemption; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications, and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The General Plan envisions a variety of commercial uses in General Commercial areas. Broadway is a primary commercial corridor and is developed with various auto-oriented serving uses. With compliance with the conditions of approval, the auto repair use would be consistent with the applicable General Plan Policies.
- B. The project is consistent with all applicable use and development standards of the C-G zone while improving the site design of this irregular shaped lot with adequate repair bays, parking, a trash enclosure and clear driveway access.
- C. The auto repair building and use is compatible with other auto-oriented commercial uses in the area. Ongoing conditions of approval and compliance with performance standards will ensure that the property continues to be compatible with surrounding uses. Conditions include all repair work to be conducted at all times within the repair bays, driveways to remain clear and sound mitigation with walls and limited hours of operation.
- D. The proposed auto repair building and use would not be detrimental to public health and safety. The project would be required to adhere to conditions of approval to limit the operations to daytime business hours. In addition, the

operation would be subject to performance standards that limit noise levels and ensure that any fumes, odors, or vibrations do not become a nuisance. The use will be governed by the CUP to ensure continued compliance.

- E. The proposed auto repair building and use would allow for a viable use of a legal non-conforming commercial building. The building was not originally constructed as an auto service facility, therefore the proposed building and site design will allow for improved utilization of the existing use, which is in the interest of public convenience and necessity.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES CUP No. 2020-0010 to allow for a new auto repair at an existing commercially developed property, in the C-G zone on the above described property subject to the following conditions:

1. Prior to the issuance of a building permit, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
  - a. A digital signed copy of the revised and approved site plan shall be included in each building permit set.
    - i) The revised site plan shall include ongoing conditions of approval (number 5).
    - ii) Add all required notes to the site plan.
  - b. A Lighting Plan shall be approved pursuant to the requirements in El Cajon Municipal Code, section 17.130.150. The plan shall indicate lighting for pedestrian and vehicular safety that is sufficient to minimize security problems. Light shall not be cast as to create a nuisance for adjacent properties.
  - c. Submit and obtain approval of a Landscape Documentation Package (LDP) pursuant to the requirements of El Cajon Municipal Code, chapter 17.195. The LDP plans shall be consistent with the approved site plan and concept plan, and address any discrepancies with the Water Efficient Landscape Ordinance and other State codes (California Green Building Code).
  - d. The site plan and building permit plans shall be consistent with the approved plans and elevations. The approved building material types and the colors of all exterior elevations shall be shown on construction drawings submitted for building permits and shall be in substantial conformance with the ones approved by the decision makers.
2. A sign permit is required for freestanding, building face and wall mounted commercial signs. Commercial signs shall be professional, quality signage, consistent and compatible with the project design and architecture.
3. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:

Proposed Planning Commission Resolution

- a. Complete the installation of the approved landscaping and irrigation system and obtain approval of the Certificate of Competition.
  - b. Satisfy all requirements contained in this resolution of approval.
4. The applicant shall comply with the conditions listed in the “Standard Conditions of Development” attached to this resolution.
5. The following are ongoing operational conditions of approval for this CUP.
  - a. Vehicles waiting for service or pick up shall be parked within the property in the marked parking spaces or repair bays. At no time will vehicles be parked on the public street.
  - b. Outdoor repair work is not permitted, all work shall be located within the repair bays as shown on the site plan. There are no exceptions
  - c. The driveway aisle shall remain clear and open at all times.
  - d. Placement of vehicular gates must comply with ECMC section 17.130.225 and is subject to review and approval during the building permit process.
  - e. Noise levels shall not exceed those for commercial zones as specified in El Cajon Municipal Code (ECMC) section 17.115.130.
  - f. Occupancy shall be S-1 on all submittals.
  - g. Hours of operation include 8 am to 6 pm, Monday through Saturday. No activity is permitted outside of the hours of operation.
  - h. Obtain building permits and comply with currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.
  - i. Add the following notes to the Site Plan for CUP-2020-0010 and implement the Best Management Practices as a condition of the CUP:

“All operations shall comply with the City’s Jurisdictional Runoff Management Program (JRMP) and the City’s Storm Water Ordinance (Municipal Code chapters 13.10 and 16.60) to minimize or eliminate discharges of pollutants to the storm drain system. Operations shall include implementation of food services Best Management Practices (BMPs) as follows:

    - i. Only rain is permitted to enter the storm drain system. Discharges (direct or by conveyance) of trash, debris, vehicle fluids, or wastewater (including washing fluids) to the storm drain system are strictly prohibited.
    - ii. Sweep or vacuum to clean outdoor areas (trash enclosures, sidewalks and parking lots). Power washing in outdoor areas is strictly prohibited.



Proposed Planning Commission Resolution

- iii. Capture, contain, and collect any power wash water and dispose of in the sanitary sewer.
- iv. Maintain parking area to be free from trash and petroleum leaks.
- v. Provide sufficient trash receptacles.
- vi. Dispose of wastes properly.
- vii. All dumpsters used by this project shall have lockable lids. All lids on all dumpsters shall remain closed while dumpster is not directly in use and locked after business hours. All dumpsters shall be properly stored inside of a building or in a covered trash enclosure.
- viii. All trash enclosures must be secured, covered with an impervious roof, and constructed with a grade-break across the entire entrance in accordance with the requirements of Storm Water 'Attachment 2 Trash Enclosure'. The design of the enclosure should accommodate a recycling grease bin if one will be used and stored outdoors.
- ix. Vehicle washing liquids must be contained and disposed of in the sanitary sewer. Vehicles must be washed only in a covered and contained wash area (car wash) that drains through an approved pretreatment system, such as a sand and oil separator system that is connected to the sanitary sewer. No water or liquids shall be discharged to surrounding areas other than the minor amount of clean rinse water that is incidental to vehicles exiting from the car wash. Any sewer connection shall be protected from rainwater, either direct or indirect.
- x. All vehicle maintenance activities must be conducted in a covered and contained building that is protected from rainwater, either direct or indirect. Maintenance areas shall drain to a self-contained sump or through an approved pretreatment system, such as a sand and oil separator system, that is connected to the sanitary sewer.
- xi. Provide spill response kits for vehicle fluid leaks and grease spills. The spill response kit must be available and quickly accessible to employees. Signage must be posted to clearly denote the location of the kit.
- xii. All materials, including vehicle fluids, must be stored in a properly covered and contained area that will not be exposed to rainwater, either directly or indirectly.
- xiii. All storm water runoff treatment control mechanisms (Low Impact Development (LID) BMPs) employed in the parking lots used by the business shall be maintained to be in good working order and replaced as necessary. See manufacturer's recommendations for maintenance and replacement.

- xiv. All “No Dumping” signage shall be maintained to be legible and replaced as necessary. A template for painting the concrete or asphalt around inlets and catch basins can be provided by the City upon request.

For Engineering requirements on this Planning Action please refer to the Conditions of Approval. This Site Plan may not clearly show existing or proposed improvements in the public right-of-way and should not be used for public improvement construction purposes.”

- 6. In accordance with the City of El Cajon Municipal Code chapter 16.60, this project falls into a priority development project (PDP) category and is subject to the Standard Urban Storm Water Mitigation Plan (SUSMP) requirements. To fulfill SUSMP requirements, a Storm Water Mitigation Plan (SWMitP) needs to be prepared by a Registered Civil Engineer in the State of California. Amongst other things, the SWMitP shall include the following:
  - a. Incorporation of new development Best Management Practices (BMPs). Please refer to the City of El Cajon BMP Design Manual. Use the BMP Design Manual and BMP calculator to help design and size proposed BMPs (available on City’s website).
  - b. Runoff calculations for water quality. A specific volume or flow of storm water runoff must be captured and treated with an approved (series of) storm water treatment control device(s); the BMP design size is calculated using either: a) the 85th percentile hourly precipitation (San Diego County 85<sup>th</sup> Percentile Isopluvials) for volume based BMPs, or b) using a rain fall intensity of 0.2 inches per hour (Limited Hydrology Study, available on City’s website) for flow based BMPs.
  - c. Incorporation of Low Impact Development (LID) BMPs for compliance with the California Regional Water Quality Control Board (San Diego Region) Order No. R9-2013-0001 as amended, or a subsequent updated Order.
  - d. LID BMPs must be included as a separate section of the SWMitP. The LID section must include a comprehensive review and consideration of LID BMPs and a determination of feasibility and practicality for all mandatory LID BMPs. The LID section must include implementation of Source Control BMPs, Treatment Control BMPs and other LID BMPs where practical and feasible. Please refer to the BMP Design Manual for design support.
  - e. A Storm Water Maintenance and Operations Plan in accordance with Storm Water “OPS and MAINT SAMPLE 2-01-18” to ensure perpetual maintenance of BMPs (Available on City’s website).
  - f. Landscaping Plans that comply with SUSMP requirements (submitted to the Planning).
  - g. Details of any proposed and existing trash enclosures. Any and all enclosures must be designed to be secured, constructed with a grade-break across the entire

enclosure entrance, and covered with an impervious, fire-resistant roof in accordance with the requirements of Storm Water 'Attachment No. 2 Trash Enclosure' (Available on City's website). The design of the enclosure should accommodate a recycling grease bin if one will be used and stored outdoors.

Note: All required documents are available on the City's Website at: <https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-137>

- j. The plans shall show that all new driveways and other impervious areas will drain to sufficiently sized and designed landscaped areas so as to incorporate Low Impact Development (LID) BMPs for compliance with the California Regional Water Quality Control Board (San Diego Region) Order No. R9-2013-0001 as amended, or a subsequent updated Order.
- k. LID BMP details must be included as a separate section of the Building Permit Plan Set. The project must include a comprehensive review and consideration of LID BMPs and a determination of feasibility and practicality for all mandatory LID BMPs. The LID section must include implementation of Source Control BMPs, Treatment Control BMPs and other LID BMPs where practical and feasible. Incorporate all cross sections of proposed BMPs on the site plan.
- l. Submit a signed and executed Storm Water Facilities Maintenance Agreement with Easement and Covenants. (Sample Storm Water Facilities Maintenance Agreement is available on the City's website).
- m. In accordance with the City's lot grading ordinance, no grading or soil disturbance, including clearing of vegetative matter and demolition activities, shall be done until all necessary environmental clearances are secured and an Erosion Control Plan (ECP) has been reviewed and approved by Engineering staff. The ECP shall control sediment and pollution and be in compliance with the City's 2015 Jurisdictional Runoff Management Plan (JRMP). The plan should show measures to ensure that pollutants and runoff from the development are reduced to the maximum extent practicable.

Note: Failure to comply with or implement storm water cup conditions is considered a violation of the city's JRMP and may result in a citation with monetary fines, criminal charges, and/or revocation of permit.

- 7. The driveway on Broadway shall be in accordance with San Diego Regional Standard Drawings G-14, including 2:1 sidewalk transitions for ADA compliance. A minimum of 2' transition may be required at back of driveway to accommodate the elevation change that might be caused due to new driveway grade. Edge of driveways shall be a minimum of 3-feet from the property line and all obstructions. The driveway shall

be a minimum 12'/18' curb cut. Repair all damaged concrete curb and gutter, and sidewalk pursuant to El Cajon City Standards.

8. Prior to issuance of Building Permit and Encroachment Permit, the applicant or contractor shall prepare a detailed scaled drawing with dimensions of the proposed driveway and sidewalk installation showing the location of the public street right-of-way, property lines, face of curb, all physical obstructions, including but not limited to, utility poles, telephone and cable TV equipment, fencing, etc. along with any required offsets in accordance with San Diego Regional Standard Drawings (SDRSD) G-15 and G-16.
9. All runoff from the project site must be treated. Runoff shall not leave the project through the proposed driveways. All project runoff must be captured and treated prior to discharge.
10. Property owners are responsible for the maintenance and repair of their entire private sewer lateral, which extends from the building to the public sewer main pursuant to El Cajon Municipal Code (ECMC) section 13.37.020.
11. Conduct a video inspection of the existing sewer lateral pursuant to ECMC section 13.37.040, and submit the inspection report to the City for review. The sewer lateral video must clearly show the entire length of the private sewer lateral from at least the building to the connection with the City sewer main.
12. The plumbing contractor shall submit a permanent copy of the inspection (DVD or USB) that the City can keep and 3 page inspection report. A digital copy of the report, Private Building Sewer Regulations and list of pre-qualified plumbing contractors are available on line at:  
  
[https://www.cityofelcajon.us/i want to/view/documents forms library/ folder 222](https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/folder-222)  
  
Or through the Sewer Lateral Coordinator at 619-441-1653.
13. If a new sewer lateral is deemed necessary, a double cleanout is required at the property line. Sewer and water lateral serving the parcel shall be private and shall be approved by the Building Division. Maintenance of the private sewer and water laterals shall be the responsibility of the homeowners. Connections to the City sewer system and payment of connection fees are required with Building Permits. The sewer lateral shall be four (4) inches in diameter.
14. Submit a preliminary soils report prepared by a Civil or Geotechnical Engineer registered in the state of California, along with adequate test borings.
15. Submit a Drainage Study and a Grading and Drainage Plan along with an Erosion Control Plan prepared by a Civil Engineer, registered in the State of California. No

grading or soil disturbance, including clearing of vegetative matter, shall be done until all necessary environmental clearances are secured and the Grading and Drainage Plan and Erosion Control Plan have been reviewed by the City.

16. These Plans shall be based on the preliminary soils report and in conformance with the City of El Cajon Jurisdictional Runoff Management Program (JRMP) and Standard Urban Storm Water Mitigation Plan Ordinance (SUSMP) which require additional water quality management measures and future ongoing maintenance even after completion of the project to prevent, treat, or limit the amount of storm water runoff and pollution from the property.
17. The Drainage Study shall include all related tributary areas and adequately address the impacts to the surrounding properties and to the City drainage system. The developer shall provide any needed public and private drainage facilities, including off site drainage facilities (as determined by the study). If public drainage facilities are required, the required improvements need to be included in improvement plans, prepared by a Civil Engineer, registered in the State of California, and submitted to the City for approval. Note: If the Drainage Study indicates the existing downstream drainage system is inadequate for the proposed density of the project, a reduction in density and/or hard surface coverage of the project may be required.

For Engineering and Storm Water Documents please go to: Engineering Documents available from the City's Website, Documents and Forms Library:

<https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-222>

Storm Water Documents available from the City's Website, Documents and Forms Library: <https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-137>

18. The Planning Commission may at any time during the life of this use permit, after holding a new public hearing and considering testimony as to the operation of the approved use, add additional conditions as it deems necessary, to ensure that the approved use continues to be compatible with surrounding properties and continues to be operated in a manner that is in the best interest of public convenience and necessity and will not be contrary to the public health, safety or welfare.
19. The existence of this CUP shall be recorded with the County Recorder.
20. The proposed use shall be operated substantially as presented in the Planning Commission staff report titled CUP No. 2020-0010, dated October 5, 2021, except as modified by this resolution. Operation of the use in violation of the conditions of approval is grounds for revocation.



Proposed Planning Commission Resolution

21. If all conditions of approval have not been satisfied or if the uses approved by this CUP have not been commenced, and if no request for an extension of time has been received, within two (2) years of the approval Planning Commission or by October 5, 2023, and subsequently approved, this CUP shall be considered null and void in accordance with El Cajon Zoning Code section 17.35.010.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held October 5, 2021, by the following vote:

AYES: CIRCO, MROZ, POLLACK-RUDE, SOTTILE, VALLES  
NOES:  
ABSENT:

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Anthony Sottile, Chair

ATTEST:

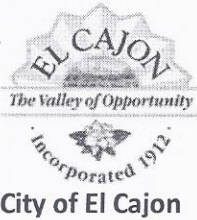
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Anthony SHUTE, Secretary

**1316 Broadway - CUP-2020-0100**

**Aerial Image**





Project Assistance Center  
**PLANNING PERMIT APPLICATION**

**Type of Planning Permit(s) Requested:**

|   |  |   |   |
|---|--|---|---|
| <input type="checkbox"/> <b>AZP</b><br>Administrative Zoning Permit | <input checked="" type="checkbox"/> <b>CUP</b><br>Conditional Use Permit | <input type="checkbox"/> <b>LLA</b><br>Lot Line Adjustment      | <input type="checkbox"/> <b>MA</b><br>Minor Amendment               |
| <input type="checkbox"/> <b>MUP</b><br>Minor Use Permit             | <input type="checkbox"/> <b>PRD</b><br>Planned Residential Development   | <input type="checkbox"/> <b>PUD</b><br>Planned Unit Development | <input type="checkbox"/> <b>SDP</b><br>Site Development Plan Permit |
| <input type="checkbox"/> <b>SP</b><br>Specific Plan                 | <input type="checkbox"/> <b>SCR</b><br>Substantial Conformance Review    | <input type="checkbox"/> <b>TPM</b><br>Tentative Parcel Map     | <input type="checkbox"/> <b>TSM</b><br>Tentative Subdivision Map    |
| <input type="checkbox"/> <b>VAR</b><br>Variance                     | <input type="checkbox"/> <b>ZR</b><br>Zone Reclassification              | <input type="checkbox"/> Other: _____                           |   |

**Project Location**

Parcel Number (APN): 484-232-23-00

Address: 1316 BROADWAY, EL CAJON, CA 92021

Nearest Intersection: 2nd Street

**Project Description** (or attach separate narrative)

DEMOLISH ALL EXISTING BUILDINGS, AND CONSTRUCTION OF NEW BUILDING,

PARKING, DRIVEWAY, TRASH ENCLOSURE, AND SITE IMPROVEMENTS.

**Project Screening Questions**

Existing use? ☐ No ☒ Yes

Modification of use? ☒ No ☐ Yes

New development or addition? ☐ No ☒ Yes

Existing Structures? ☐ No ☒ Yes

**If yes, please describe:**

Auto Repair and Tire

New structure, demolish existing

Age of the structures: 1971



Demolition or substantial  
modification proposed to site  
improvements or structures? ☐ No ☒ Yes  
Tenant improvements proposed? ☐ No ☒ Yes  
Existing vegetation or trees on site  
proposed for removal? ☐ No ☐ Yes  
Proposed grading? ☒ No ☐ Yes

## Demolition

New structure new driveway

Proposed quantities of cut and/or fill.

### **Applicant Information** (the individual or entity proposing to carry out the project; not for consultants)

Company Name:

Contact Name:

Mailing Address:

Phone:

Email:

Interest in Property:

☒ Own

☐ Lease

☐ Option

### **Project Representative Information** (if different than applicant; consultant information here)

Company Name:

Contact Name:

License:

Mailing Address:

Phone:

Email:

### **Property Owner Information** (if different than applicant)

Company Name:

Contact Name:

Mailing Address:

Phone:

Email:

### **Hazardous Waste and Substances Statement**

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

☒ is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

☐ is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: \_\_\_\_\_ Date of List: \_\_\_\_\_

### Authorization

Applicant Signature<sup>1</sup>: \_\_\_\_\_

Date: \_\_\_\_\_

Property Owner  
Signature<sup>2</sup>: \_\_\_\_\_



Date: 10-14-20

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

### Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

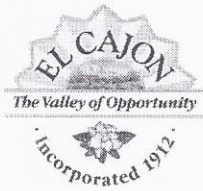
Conference date: \_\_\_\_\_

### Application Submittal

To submit your application, **it must be done by appointment** scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: \_\_\_\_\_





## Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

Layth Basheer

1316 Broadway El Cajon CA 92021

List the names and address of all persons having any ownership interest in the property involved.

Layth Basheer

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes \_\_\_\_\_ No X

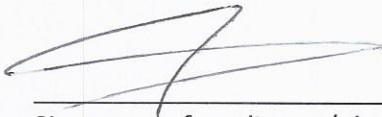
If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

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"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.



Signature of applicant / date

10-14-2020

Layth Basheer

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.



SITE DATA

SITE ADDRESS:

1316 BROADWAY  
EL CAJON, CA 92021

OWNER:

LAYTH BASHEER  
1316 BROADWAY  
EL CAJON, CA 92021  
CELL: 619-504-7666

PLAN PREPARED BY:

RABIE MIKHA

CELL: 619-729-5953

TYPE OF CONSTRUCTION: V-B

OCCUPANCY: S-1 (AUTO REPAIR)

SCOPE OF WORK:

DEMOLISH ALL EXISTING BUILDINGS, AND CONSTRUCTION OF NEW BUILDING, STORAGE ROOM, PARKING, DRIVEWAY, TRASH ENCLOSURE, AND SITE IMPROVEMENTS.

A.P.N.: 484-232-23-00

SQ.FT.:

MAIN LEVEL:

-OFFICE: 295 SQ.FT.

-REPAIR AREA : 2,064 SQ.FT.

-COVERED AREA : 964 SQ.FT.

-METAL & TIRE STORAGE/RECYCLE ROOM : 158 SQ.FT.

SECOND LEVEL:

OFFICE/STORAGE ROOM : 291 SQ.FT.

DECK : 98 SQ.FT.

BASEMENT LEVEL:

OIL STORAGE ROOM : 338 SQ.FT.

LEGAL DESCRIPTION:

TR 1709 LOT 4\*(EX E 2FT)S 20 FT OF N 130

YEAR BUILT: 1973

LOT SIZE : 7,705 SQ.FT.

ZONING: C-6

SHEET INDEX:

A-1 SITE FLOOR PLAN, SITE DATA.

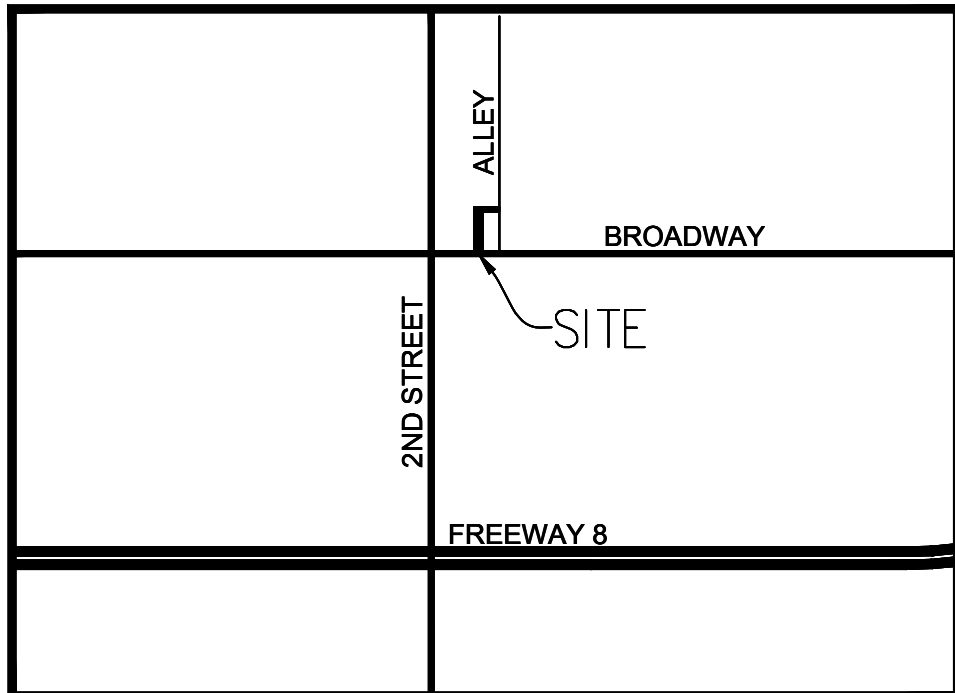
C-1 BMP PLAN.

A-2 ELEVATIONS, FLOOR PLANS.

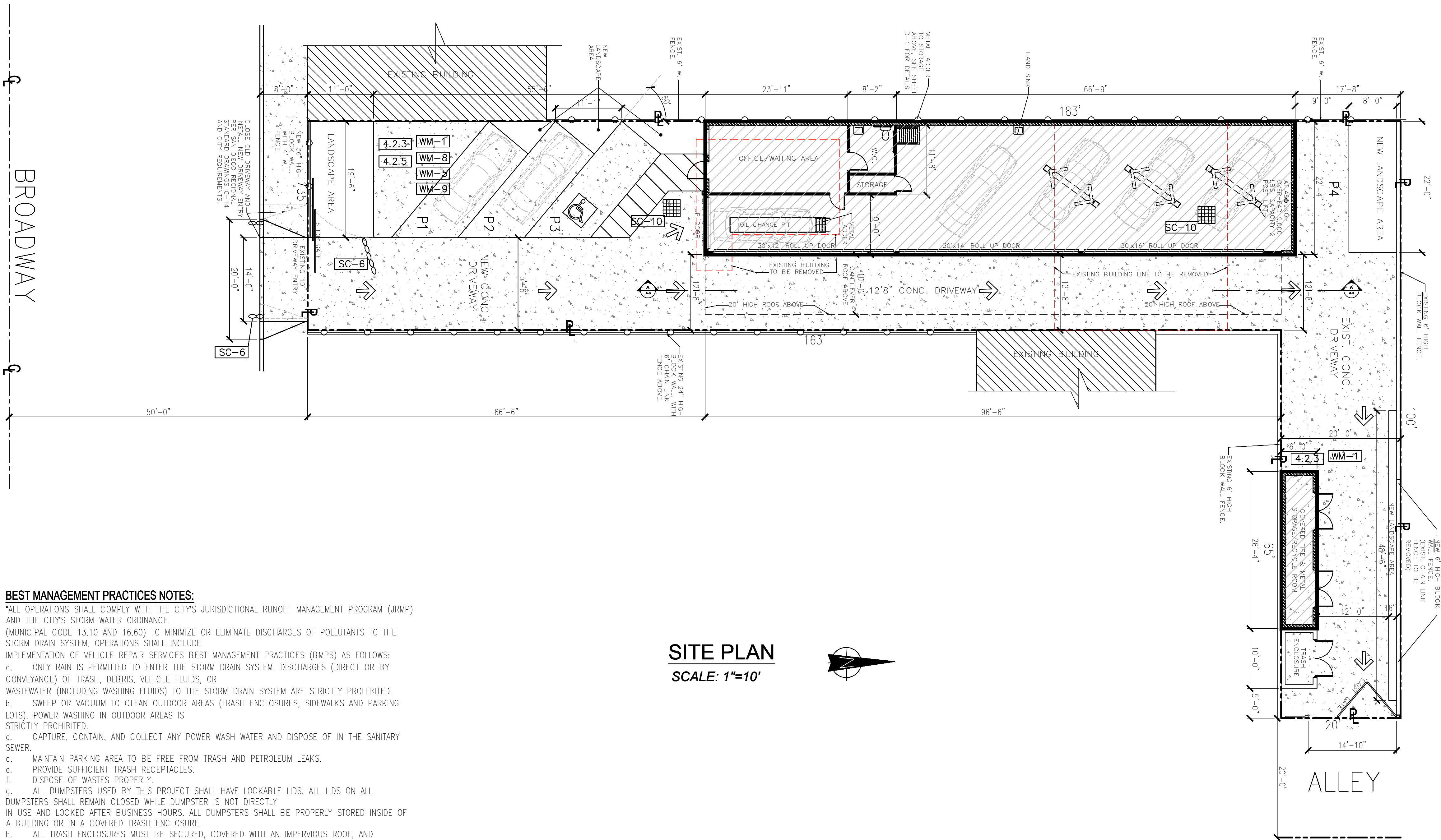
A-3 STORAGE ELEVATIONS, & BUILDING SECTION.

A-4 SIDE ELEVATIONS.

D-1 DETAILS.



VICINITY MAP  
NOT TO SCALE



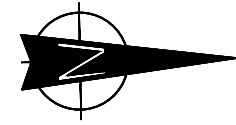
BEST MANAGEMENT PRACTICES NOTES:

\*ALL OPERATIONS SHALL COMPLY WITH THE CITY'S JURISDICTIONAL RUNOFF MANAGEMENT PROGRAM (JRMP) AND THE CITY'S STORM WATER ORDINANCE (MUNICIPAL CODE 13.10 AND 16.60) TO MINIMIZE OR ELIMINATE DISCHARGES OF POLLUTANTS TO THE STORM DRAIN SYSTEM. OPERATIONS SHALL INCLUDE IMPLEMENTATION OF VEHICLE REPAIR SERVICES BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:

- ONLY RAIN IS PERMITTED TO ENTER THE STORM DRAIN SYSTEM. DISCHARGES (DIRECT OR BY CONVEYANCE) OF TRASH, DEBRIS, VEHICLE FLUIDS, OR WASTEWATER (INCLUDING WASHING FLUIDS) TO THE STORM DRAIN SYSTEM ARE STRICTLY PROHIBITED.
- SWEEP OR VACUUM TO CLEAN OUTDOOR AREAS (TRASH ENCLOSURES, SIDEWALKS AND PARKING LOTS). POWER WASHING IN OUTDOOR AREAS IS STRICTLY PROHIBITED.
- CAPTURE, CONTAIN, AND COLLECT ANY POWER WASH WATER AND DISPOSE OF IN THE SANITARY SEWER.
- MAINTAIN PARKING AREA TO BE FREE FROM TRASH AND PETROLEUM LEAKS.
- PROVIDE SUFFICIENT TRASH RECEPTACLES.
- DISPOSE OF WASTES PROPERLY.
- ALL DUMPSTERS USED BY THIS PROJECT SHALL HAVE LOCKABLE LIDS. ALL LIDS ON ALL DUMPSTERS SHALL REMAIN CLOSED WHILE DUMPSTER IS NOT DIRECTLY IN USE AND LOCKED AFTER BUSINESS HOURS. ALL DUMPSTERS SHALL BE PROPERLY STORED INSIDE OF A BUILDING OR IN A COVERED TRASH ENCLOSURE.
- ALL TRASH ENCLOSURES MUST BE SECURED, COVERED WITH AN IMPERVIOUS ROOF, AND CONSTRUCTED WITH A GRADE-BREAK ACROSS THE ENTIRE ENTRANCE IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC WORKS STORM WATER 'ATTACHMENT 2 TRASH ENCLOSURE'. THE DESIGN OF THE ENCLOSURE SHOULD ACCOMMODATE A RECYCLING GREASE BIN IF ONE WILL BE USED AND STORED OUTDOORS.
- VEHICLE WASHING LIQUIDS MUST BE CONTAINED AND DISPOSED OF IN THE SANITARY SEWER. VEHICLES MUST BE WASHED ONLY IN A COVERED AND CONTAINED WASH AREA (CAR WASH) THAT DRAINS THROUGH AN APPROVED PRETREATMENT SYSTEM, SUCH AS A SAND AND OIL SEPARATOR SYSTEM THAT IS CONNECTED TO THE SANITARY SEWER. NO WATER OR LIQUIDS SHALL BE DISCHARGED TO SURROUNDING AREAS OTHER THAN THE MINOR AMOUNT OF CLEAN RINSE WATER THAT IS INCIDENTAL TO VEHICLES EXITING FROM THE CAR WASH. ANY SEWER CONNECTION SHALL BE PROTECTED FROM RAINWATER, EITHER DIRECT OR INDIRECT.
- ALL VEHICLE MAINTENANCE ACTIVITIES MUST BE CONDUCTED IN A COVERED AND CONTAINED BUILDING THAT IS PROTECTED FROM RAINWATER, EITHER DIRECT OR INDIRECT. MAINTENANCE AREAS SHALL DRAIN TO A SELF-CONTAINED SUMP OR THROUGH AN APPROVED PRETREATMENT SYSTEM, SUCH AS A SAND AND OIL SEPARATOR SYSTEM, THAT IS CONNECTED TO THE SANITARY SEWER.
- PROVIDE SPILL RESPONSE KITS FOR VEHICLE FLUID LEAKS AND GREASE SPILLS. THE SPILL RESPONSE KIT MUST BE AVAILABLE AND QUICKLY ACCESSIBLE TO EMPLOYEES. SIGNAGE MUST BE POSTED TO CLEARLY DENOTE THE LOCATION OF THE KIT.
- ALL MATERIALS, INCLUDING VEHICLE FLUIDS, MUST BE STORED IN A PROPERLY COVERED AND CONTAINED AREA THAT WILL NOT BE EXPOSED TO RAINWATER, EITHER DIRECTLY OR INDIRECTLY.
- ALL STORM WATER RUNOFF TREATMENT CONTROL MECHANISMS (LOW IMPACT DEVELOPMENT (LID) BMPs) EMPLOYED IN THE PARKING LOTS USED BY THE BUSINESS SHALL BE MAINTAINED TO BE IN GOOD WORKING ORDER AND REPLACED AS NECESSARY. SEE MANUFACTURER'S RECOMMENDATIONS FOR MAINTENANCE AND REPLACEMENT.
- ALL "NO DUMPING" SIGNAGE SHALL BE MAINTAINED TO BE LEGIBLE AND REPLACED AS NECESSARY. A TEMPLATE FOR PAINTING THE CONCRETE OR ASPHALT AROUND INLETS AND CATCH BASINS CAN BE PROVIDED BY THE CITY UPON REQUEST.

SITE PLAN

SCALE: 1"=10'



BMP LEGEND

DIRECTION OF LOT DRAINAGE → →

MATERIALS & WASTE MANAGEMENT BMPs:

- WM-1 MATERIAL DELIVERY & STORAGE
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-5 SOLID WASTE MANAGEMENT
- WM-9 SANITARY WASTE MANAGEMENT

TEMPORARY RUNOFF CONTROL BMPs:

- SC-1 SILT FENCE
- SC-5 FIBER ROLLS
- SC-6 / SC-8 GRAVEL BAGS
- SC-10 STORM DRAIN INLET PROTECTION

POST CONSTRUCTION SOURCE CONTROL BMPs

- 4.2.3 PROTECTED OUTDOOR MATERIALS STORAGE AREAS
- 4.2.5 PROTECT TRASH STORAGE AREAS

- NOTES:
- THIS SET OF PLANS SHALL BE FOR PLANNING ENTITLEMENT PURPOSES ONLY AND NOT FOR CONSTRUCTION.
  - A GRADING AND DRAINAGE PLAN AND CONCEPTUAL STORM WATER MITIGATION PLAN ARE REQUIRED FOR THIS PROJECT.

CITY OF EL CAJON

PERMIT NO. CUP-2020-0010

APPLICANT: LAYTH BASHEER

ASSESSOR PARCEL NO(S): 484-232-23-00

REQUEST: CONDITIONAL USE PERMIT (CUP)

PC RESOLUTION No. APPROVED BY:

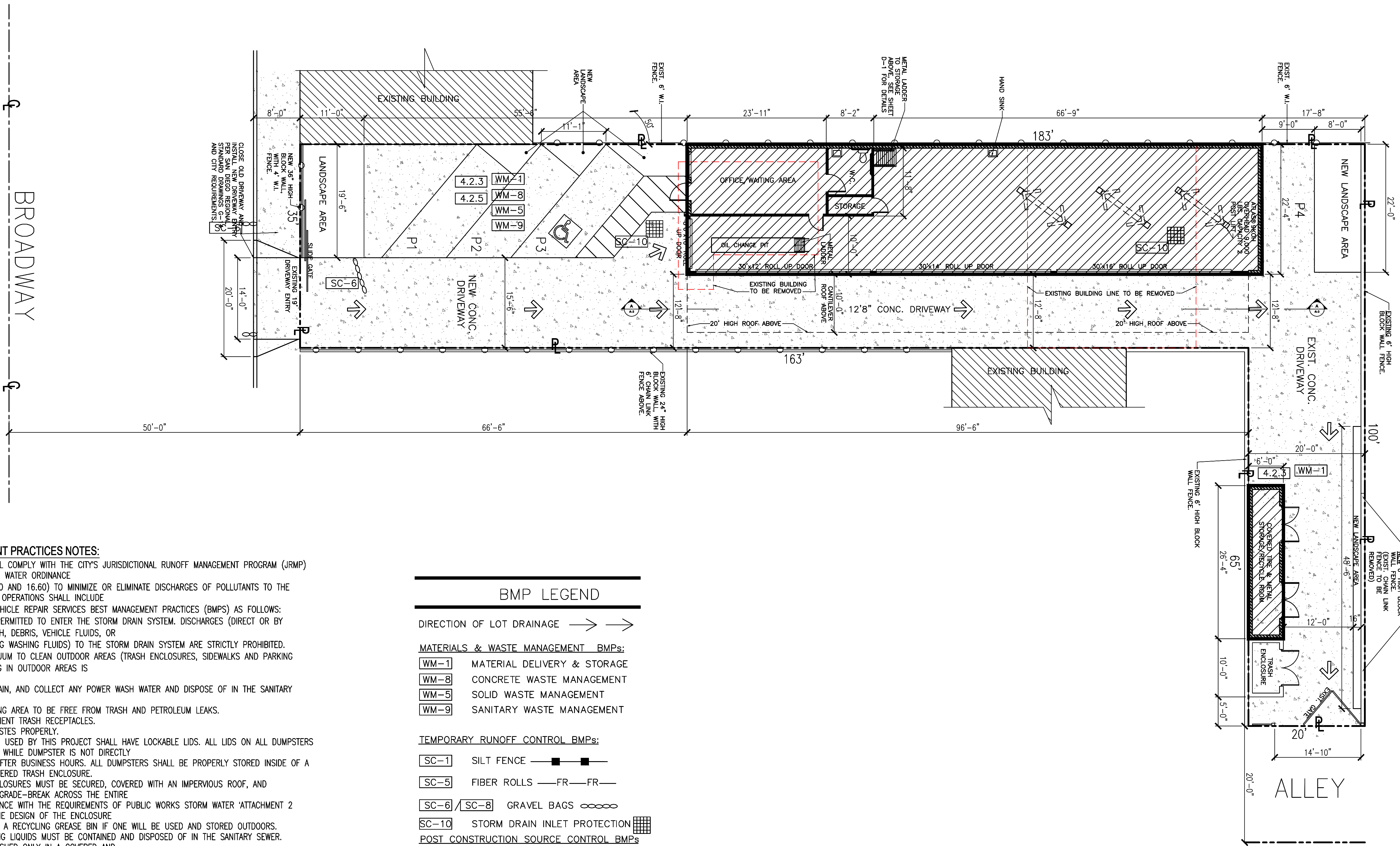
CC RESOLUTION No.

ORDINANCE No. DATE:



NOTES:

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- A GRADING AND DRAINAGE PLAN AND CONCEPTUAL STORM WATER MITIGATION PLAN ARE REQUIRED FOR THIS PROJECT.



BEST MANAGEMENT PRACTICES NOTES:

- \*ALL OPERATIONS SHALL COMPLY WITH THE CITY'S JURISDICTIONAL RUNOFF MANAGEMENT PROGRAM (JUMP) AND THE CITY'S STORM WATER ORDINANCE (MUNICIPAL CODE 13.10 AND 16.60) TO MINIMIZE OR ELIMINATE DISCHARGES OF POLLUTANTS TO THE STORM DRAIN SYSTEM. OPERATIONS SHALL INCLUDE IMPLEMENTATION OF VEHICLE REPAIR SERVICES BEST MANAGEMENT PRACTICES (BMPs) AS FOLLOWS:
- ONLY RAIN IS PERMITTED TO ENTER THE STORM DRAIN SYSTEM. DISCHARGES (DIRECT OR BY CONVEYANCE) OF TRASH, DEBRIS, VEHICLE FLUIDS, OR WASTEWATER (INCLUDING WASHING FLUIDS) TO THE STORM DRAIN SYSTEM ARE STRICTLY PROHIBITED.
  - SWEEP OR VACUUM TO CLEAN OUTDOOR AREAS (TRASH ENCLOSURES, SIDEWALKS AND PARKING LOTS). POWER WASHING IN OUTDOOR AREAS IS STRICTLY PROHIBITED.
  - CAPTURE, CONTAIN, AND COLLECT ANY POWER WASH WATER AND DISPOSE OF IN THE SANITARY SEWER.
  - MAINTAIN PARKING AREA TO BE FREE FROM TRASH AND PETROLEUM LEAKS.
  - PROVIDE SUFFICIENT TRASH RECEPTACLES.
  - DISPOSE OF WASTES PROPERLY.
  - ALL DUMPSTERS USED BY THIS PROJECT SHALL HAVE LOCKABLE LIDS. ALL LIDS ON ALL DUMPSTERS SHALL REMAIN CLOSED WHILE DUMPSTER IS NOT DIRECTLY IN USE AND LOCKED AFTER BUSINESS HOURS. ALL DUMPSTERS SHALL BE PROPERLY STORED INSIDE OF A BUILDING OR IN A COVERED TRASH ENCLOSURE.
  - ALL TRASH ENCLOSURES MUST BE SECURED, COVERED WITH AN IMPERVIOUS ROOF, AND CONSTRUCTED WITH A GRADE-BREAK ACROSS THE ENTIRE ENTRANCE IN ACCORDANCE WITH THE REQUIREMENTS OF PUBLIC WORKS STORM WATER ATTACHMENT 2 TRASH ENCLOSURE. THE DESIGN OF THE ENCLOSURE SHOULD ACCOMMODATE A RECYCLING GREASE BIN IF ONE WILL BE USED AND STORED OUTDOORS.
  - VEHICLE WASHING LIQUIDS MUST BE CONTAINED AND DISPOSED OF IN THE SANITARY SEWER. VEHICLES MUST BE WASHED ONLY IN A COVERED AND CONTAINED WASH AREA (CAR WASH) THAT DRAINS THROUGH AN APPROVED PRETREATMENT SYSTEM, SUCH AS A SAND AND OIL SEPARATOR SYSTEM THAT IS CONNECTED TO THE SANITARY SEWER. NO WATER OR LIQUIDS SHALL BE DISCHARGED TO SURROUNDING AREAS OTHER THAN THE MINOR AMOUNT OF CLEAN RINSE WATER THAT IS INCIDENTAL TO VEHICLES EXITING FROM THE CAR WASH. ANY SEWER CONNECTION SHALL BE PROTECTED FROM RAINWATER, EITHER DIRECT OR INDIRECT.
  - ALL VEHICLE MAINTENANCE ACTIVITIES MUST BE CONDUCTED IN A COVERED AND CONTAINED BUILDING THAT IS PROTECTED FROM RAINWATER, EITHER DIRECT OR INDIRECT. MAINTENANCE AREAS SHALL DRAIN TO A SELF-CONTAINED SUMP OR THROUGH AN APPROVED PRETREATMENT SYSTEM, SUCH AS A SAND AND OIL SEPARATOR SYSTEM, THAT IS CONNECTED TO THE SANITARY SEWER.
  - PROVIDE SPILL RESPONSE KITS FOR VEHICLE FLUID LEAKS AND GREASE SPILLS. THE SPILL RESPONSE KIT MUST BE AVAILABLE AND QUICKLY ACCESSIBLE TO EMPLOYEES. SIGNAGE MUST BE POSTED TO CLEARLY DENOTE THE LOCATION OF THE KIT.
  - ALL MATERIALS, INCLUDING VEHICLE FLUIDS, MUST BE STORED IN A PROPERLY COVERED AND CONTAINED AREA THAT WILL NOT BE EXPOSED TO RAINWATER, EITHER DIRECTLY OR INDIRECTLY.
  - ALL STORM WATER RUNOFF TREATMENT CONTROL MECHANISMS (LOW IMPACT DEVELOPMENT (LID) BMPs) EMPLOYED IN THE PARKING LOTS USED BY THE BUSINESS SHALL BE MAINTAINED TO BE IN GOOD WORKING ORDER AND REPLACED AS NECESSARY. SEE MANUFACTURER'S RECOMMENDATIONS FOR MAINTENANCE AND REPLACEMENT.
  - ALL "NO DUMPING" SIGNAGE SHALL BE MAINTAINED TO BE LEGIBLE AND REPLACED AS NECESSARY. A TEMPLATE FOR PAINTING THE CONCRETE OR ASPHALT AROUND INLETS AND CATCH BASINS CAN BE PROVIDED BY THE CITY UPON REQUEST.

BMP LEGEND

DIRECTION OF LOT DRAINAGE → →

MATERIALS & WASTE MANAGEMENT BMPs:

- |      |                             |
|------|-----------------------------|
| WM-1 | MATERIAL DELIVERY & STORAGE |
| WM-8 | CONCRETE WASTE MANAGEMENT   |
| WM-5 | SOLID WASTE MANAGEMENT      |
| WM-9 | SANITARY WASTE MANAGEMENT   |

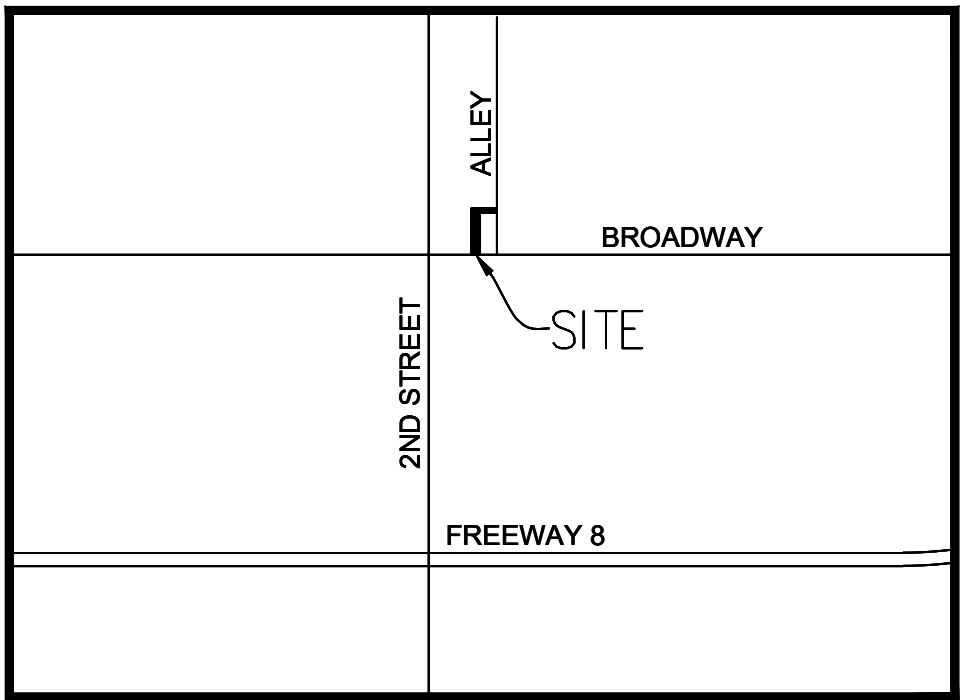
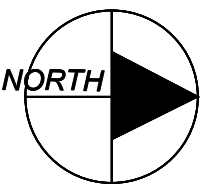
TEMPORARY RUNOFF CONTROL BMPs:

- |             |                              |
|-------------|------------------------------|
| SC-1        | SILT FENCE                   |
| SC-5        | FIBER ROLLS                  |
| SC-6 / SC-8 | GRAVEL BAGS                  |
| SC-10       | STORM DRAIN INLET PROTECTION |

POST CONSTRUCTION SOURCE CONTROL BMPs:

- |       |   |
|-------|---|
| 4.2.3 | PROTECTED OUTDOOR MATERIALS STORAGE AREAS |
| 4.2.5 | PROTECT TRASH STORAGE AREAS               |

BMP PLAN  
SCALE: 1"=10'



VICINITY MAP  
NOT TO SCALE

REVISIONS

PLANS DESIGNED AND  
PREPARED BY:  
RABIE MIKHA  
TELL: (619) 729-5953

PROJECT:

EXPRESS AUTO REPAIR & TIRE

1316 BROADWAY  
EL CAJON CA 92021

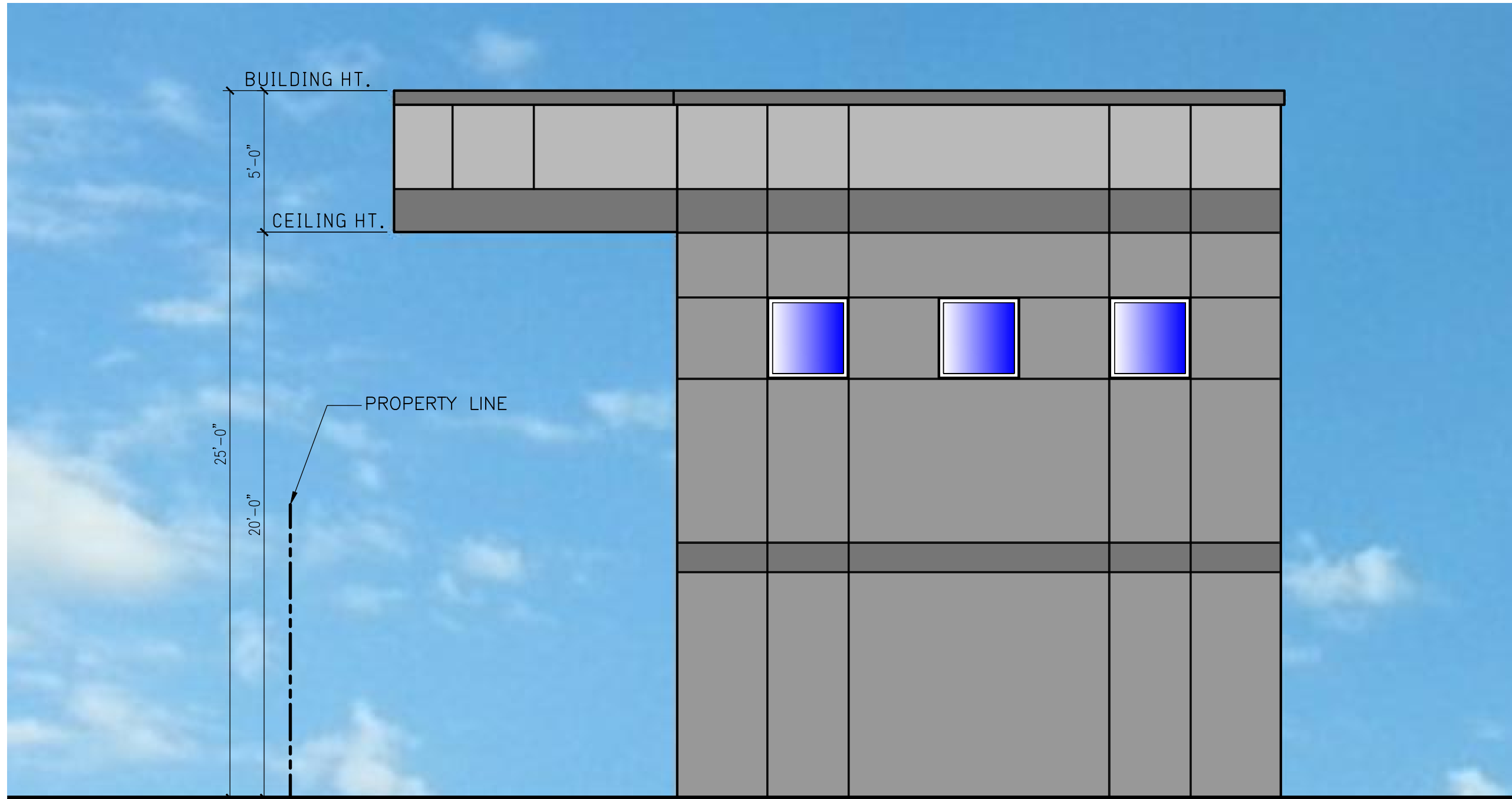
BMP PLAN

DRAWN R.M.  
DATE 05/30/2021  
SCALE  
JOB NO.  
SHEET

C-1

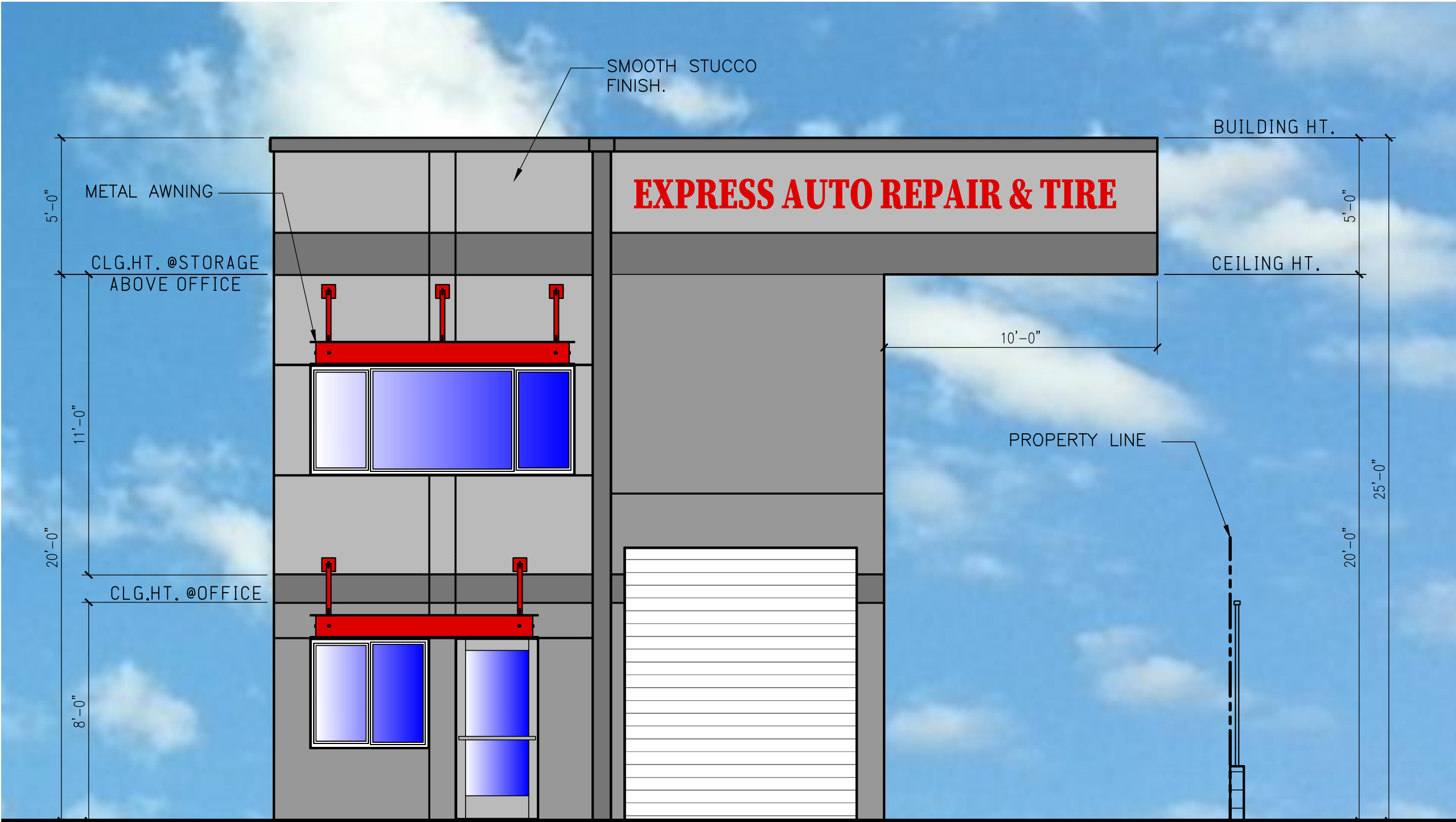
OF SHEETS

- NOTES:
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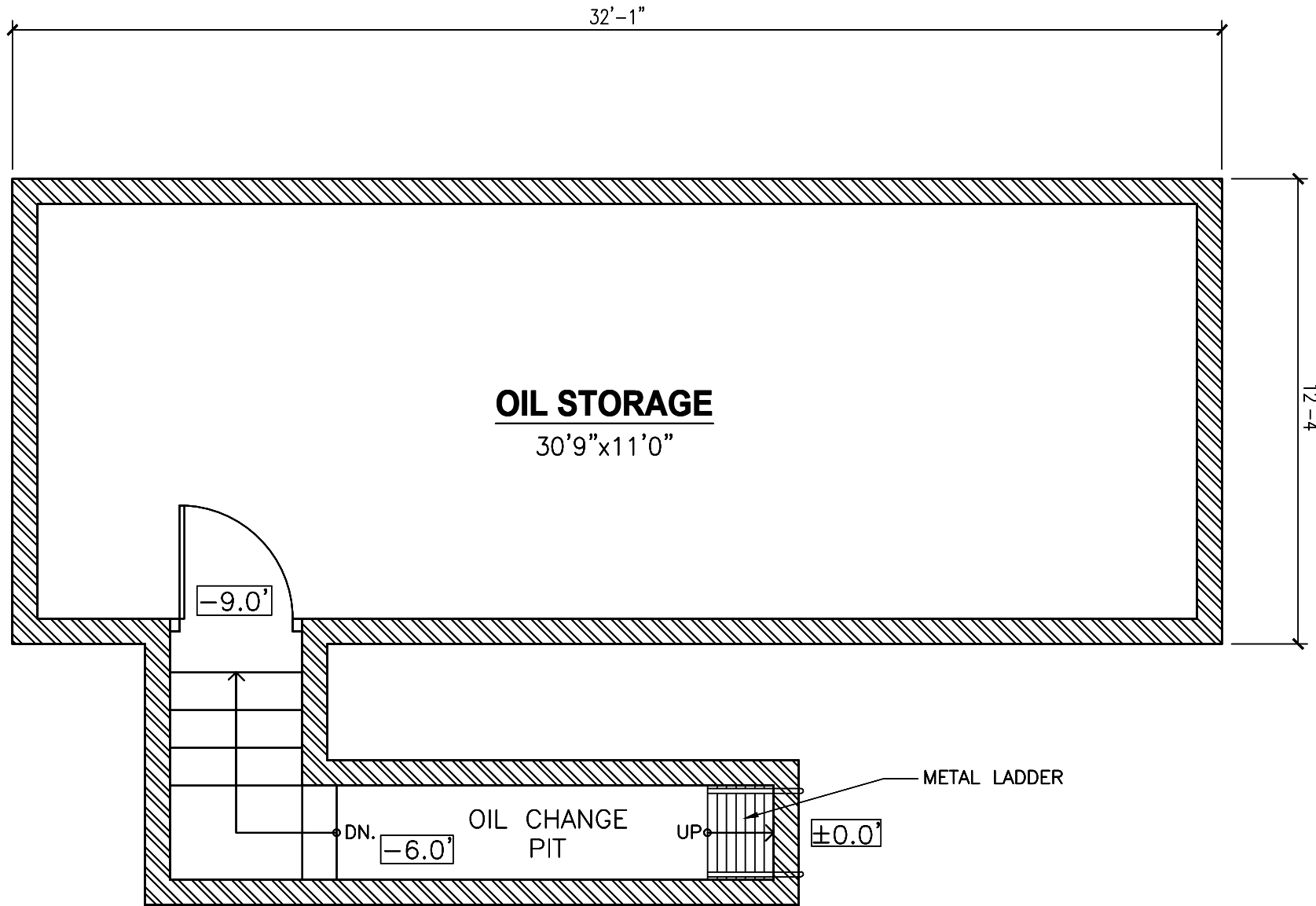
REAR ELEVATION

SCALE: 1/4"=1'-0"



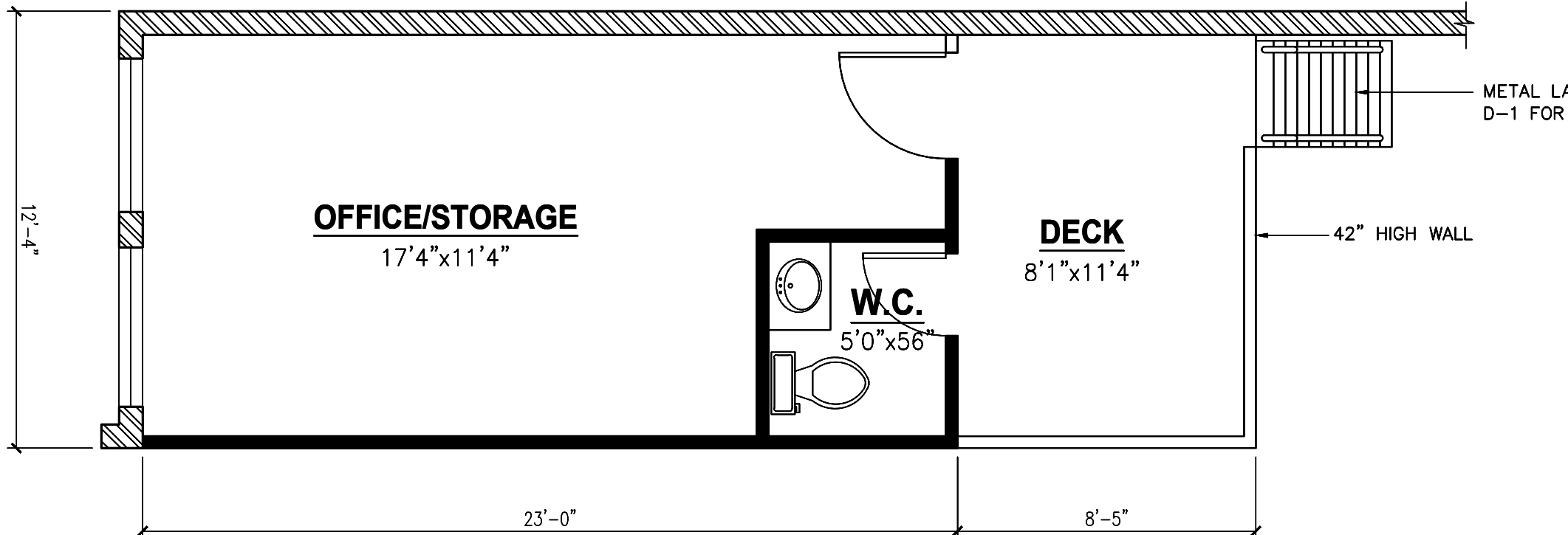
FRONT ELEVATION

SCALE: 1/4"=1'-0"



BASEMENT FLOOR PLAN

SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

REVISIONS

|  |  |
|--|--|
|  |  |
|  |  |
|  |  |
|  |  |

PLANS DESIGNED AND  
PREPARED BY:  
RABIE MIKHA  
TELL: (619) 729-5953

PROJECT:

EXPRESS AUTO REPAIR & TIRE

1316 BROADWAY  
EL CAJON CA 92021

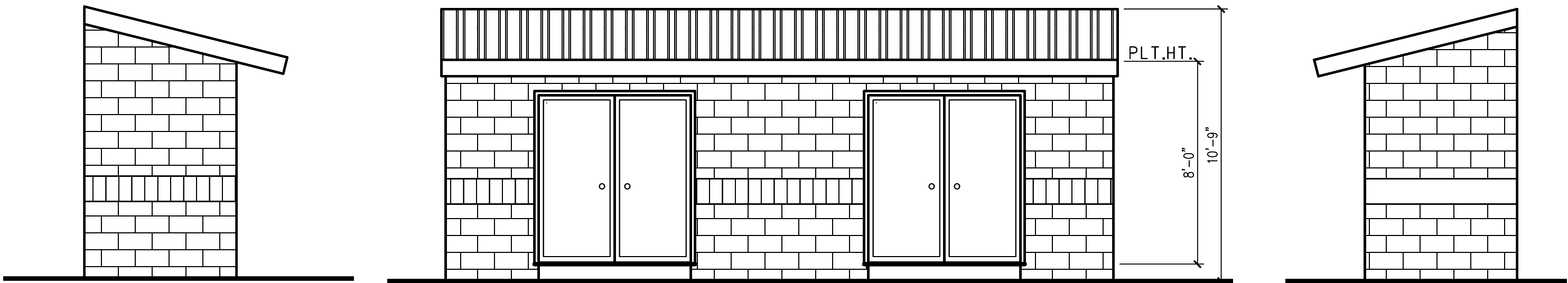
ELEVATIONS  
FLOOR PLANS

|         |            |
|---------|------------|
| DRAWN   | R.M.       |
| DATE    | 08/16/2021 |
| SCALE   |            |
| JOB NO. |            |
| SHEET   |            |

A-2

OF SHEETS

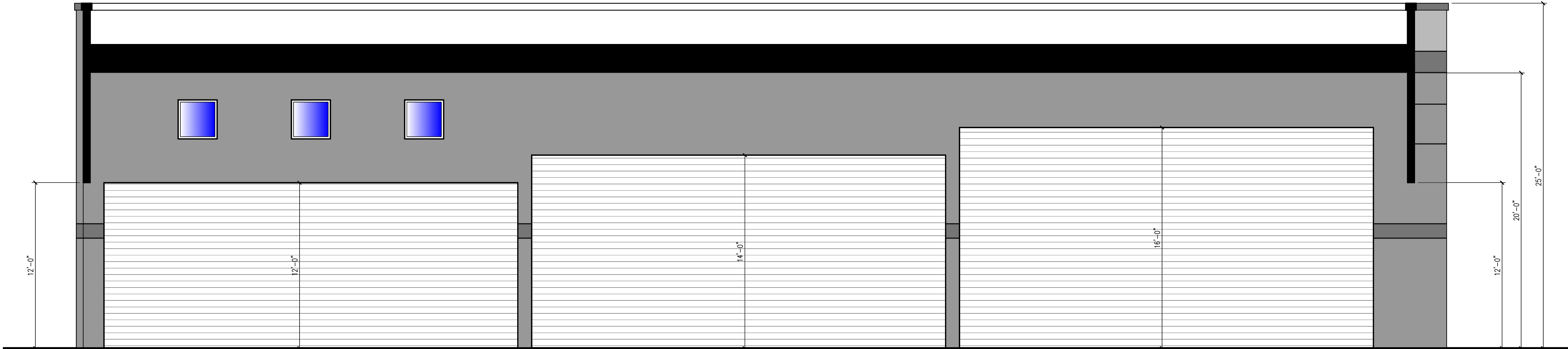
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**LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

**FRONT ELEVATION**  
SCALE: 1/4"=1'-0"

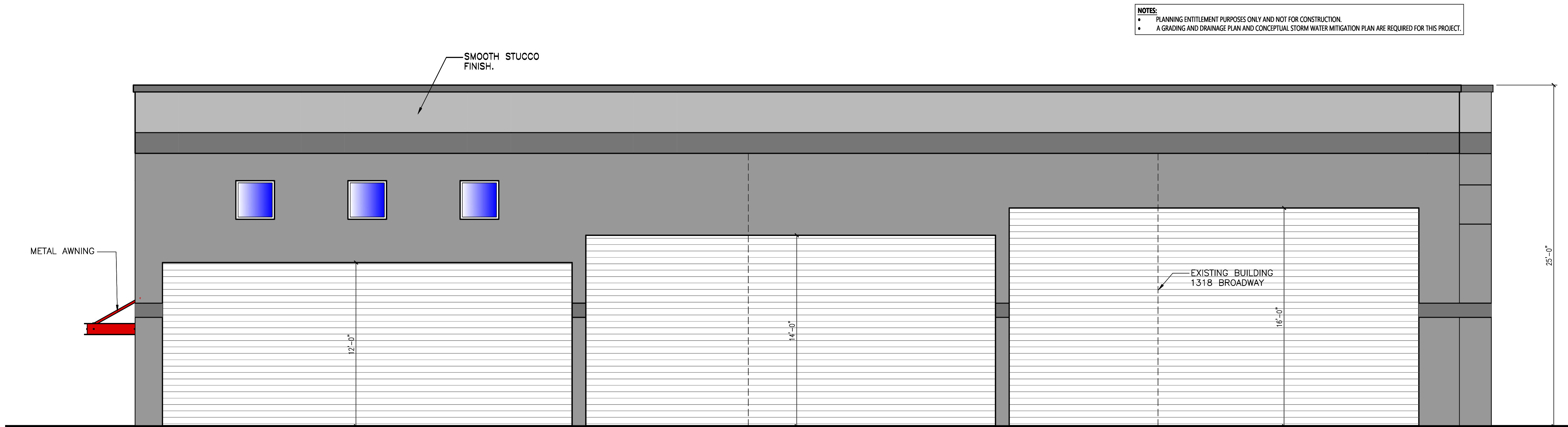
**RIGHT ELEVATION**  
SCALE: 1/4"=1'-0"



**BUILDING SECTION A-A**  
SCALE: 1/4"=1'-0"

| REVISIONS   |            |
|---|------------|
|   |            |
|   |            |
|   |            |
| PLANS DESIGNED AND PREPARED BY:<br>RABIE MIKHA<br>TELL: (619) 729-5953                  |            |
| PROJECT:<br><b>EXPRESS AUTO REPAIR &amp; TIRE</b><br>1316 BROADWAY<br>EL CAJON CA 92021 |            |
| <b>STORAGE ELEVATIONS<br/>BUILDING SECTION</b>  |            |
| DRAWN   | R.M.       |
| DATE  | 08/16/2021 |
| SCALE   |            |
| JOB NO.   |            |
| SHEET   |            |
| <b>A-3</b>  |            |
| OF  | SHEETS     |



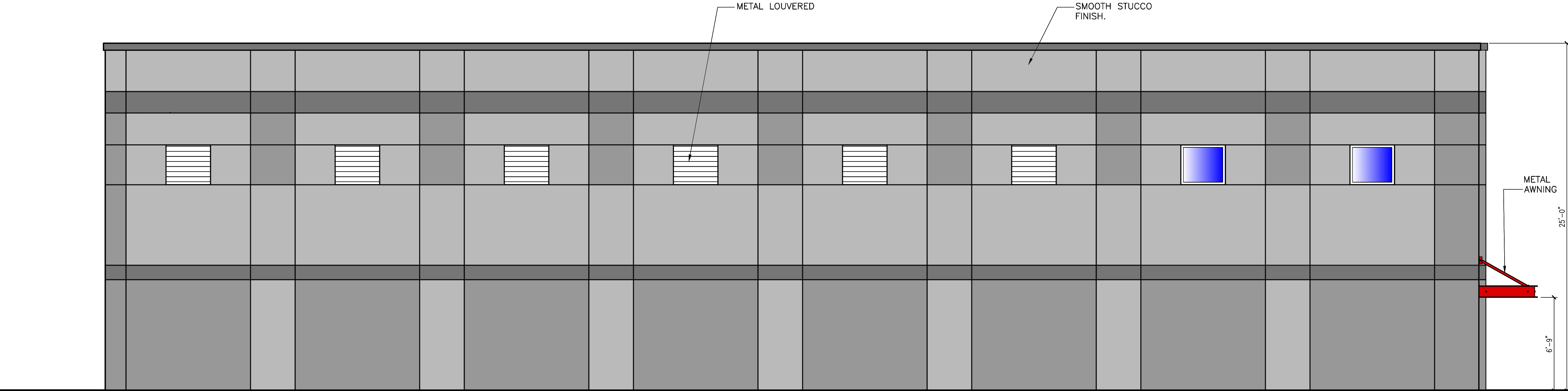


**RIGHT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

**COLOR & MATERIAL BOARD**

WALLS:  
OMEGA PRODUCTS' COLORTEK STUCCO  
426 STILL CREEK

TRIMS & SOFFITS:  
OMEGA PRODUCTS' COLORTEK STUCCO  
414 CLOUD COVER



**LEFT SIDE ELEVATION**  
SCALE: 1/4"=1'-0"

- NOTES:**
- PLANNING ENTITLEMENT PURPOSES ONLY AND NOT FOR CONSTRUCTION.
  - A GRADING AND DRAINAGE PLAN AND CONCEPTUAL STORM WATER MITIGATION PLAN ARE REQUIRED FOR THIS PROJECT.

REVISIONS

| NO. | DESCRIPTION |
|-----|-------------|
|     |             |
|     |             |
|     |             |

PLANS DESIGNED AND  
PREPARED BY:  
RABIE MIKHA  
TELL: (619) 729-5953

PROJECT:

**EXPRESS AUTO REPAIR & TIRE**

1316 BROADWAY  
EL CAJON CA 92021

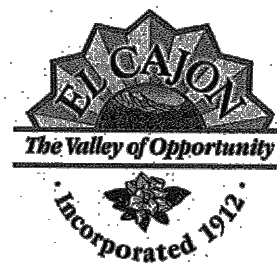
**ELEVATIONS**

|         |            |
|---------|------------|
| DRAWN   | R.M.       |
| DATE    | 08/16/2021 |
| SCALE   |            |
| JOB NO. |            |
| SHEET   |            |

**A-4**

OF SHEETS



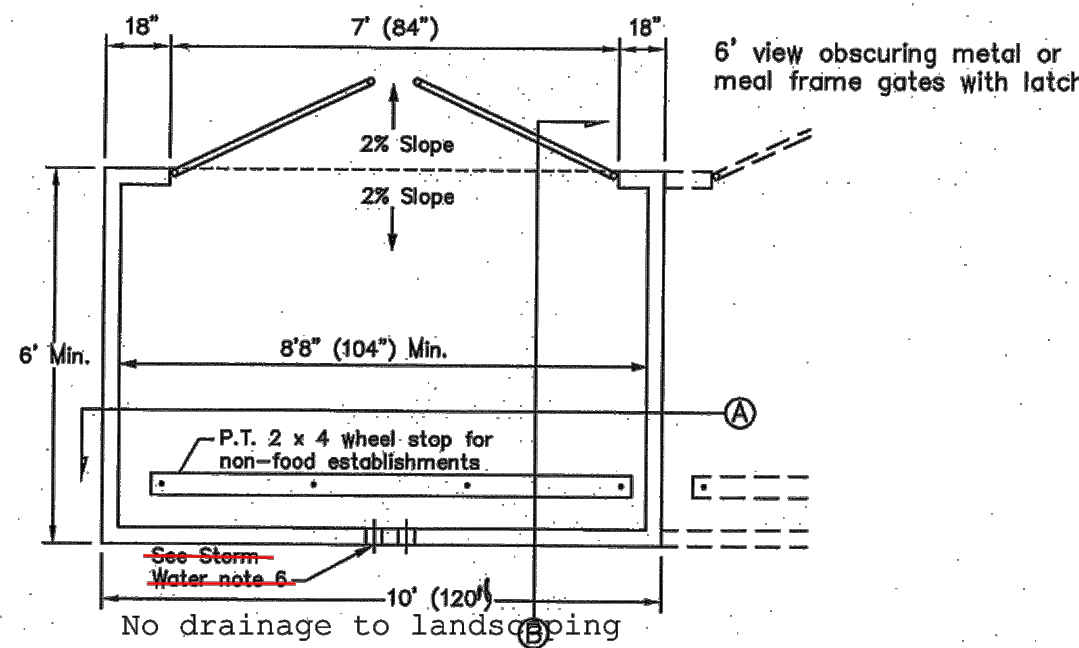


City of El Cajon  
Building and Fire Safety Div.  
200 Civic Center Way  
El Cajon, CA. 9220  
Phone: 619-441-1726

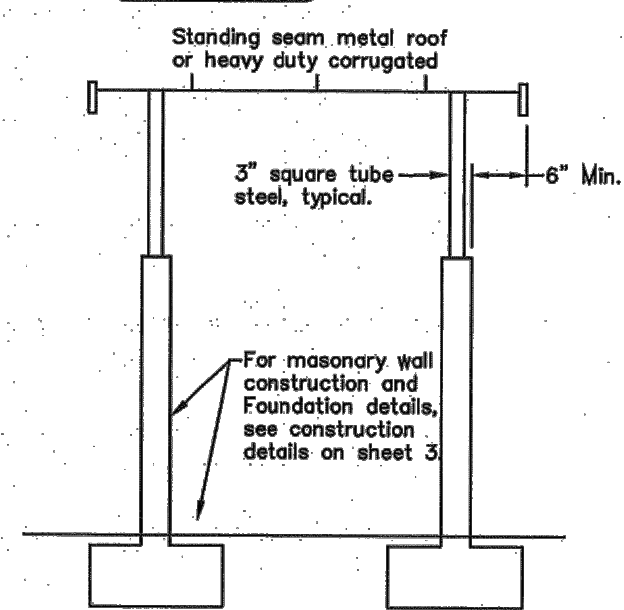
## TRASH ENCLOSURE DETAIL

Please be advised that all notes on sheet 4 of this detail apply to trash enclosure installations

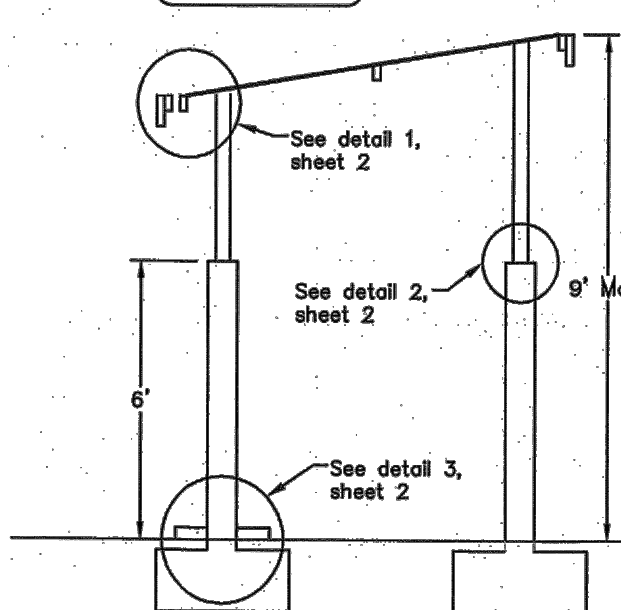
### FLOOR PLAN



### Section A

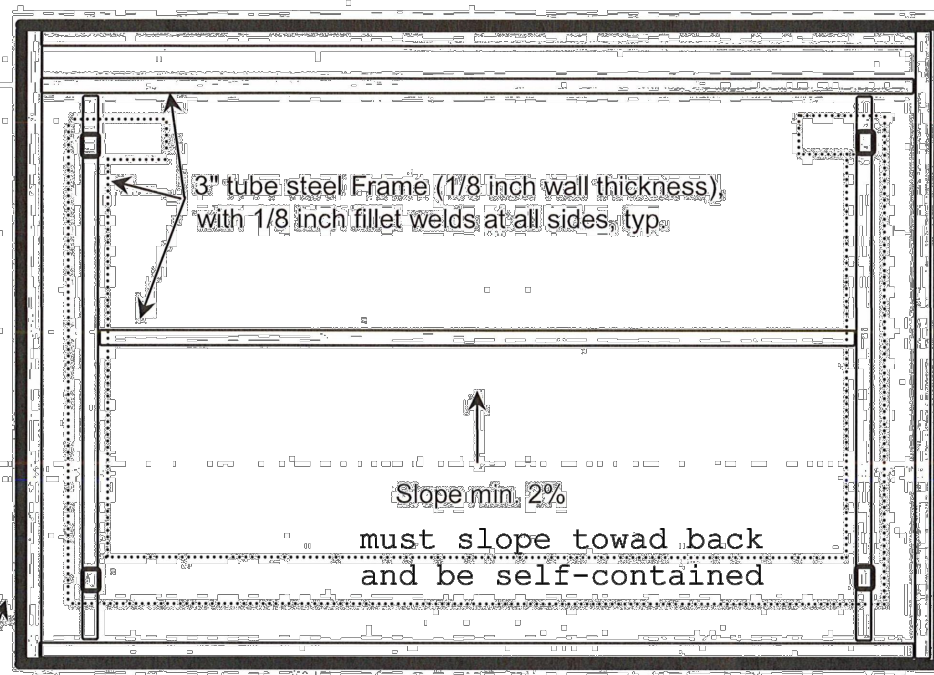


### Section B

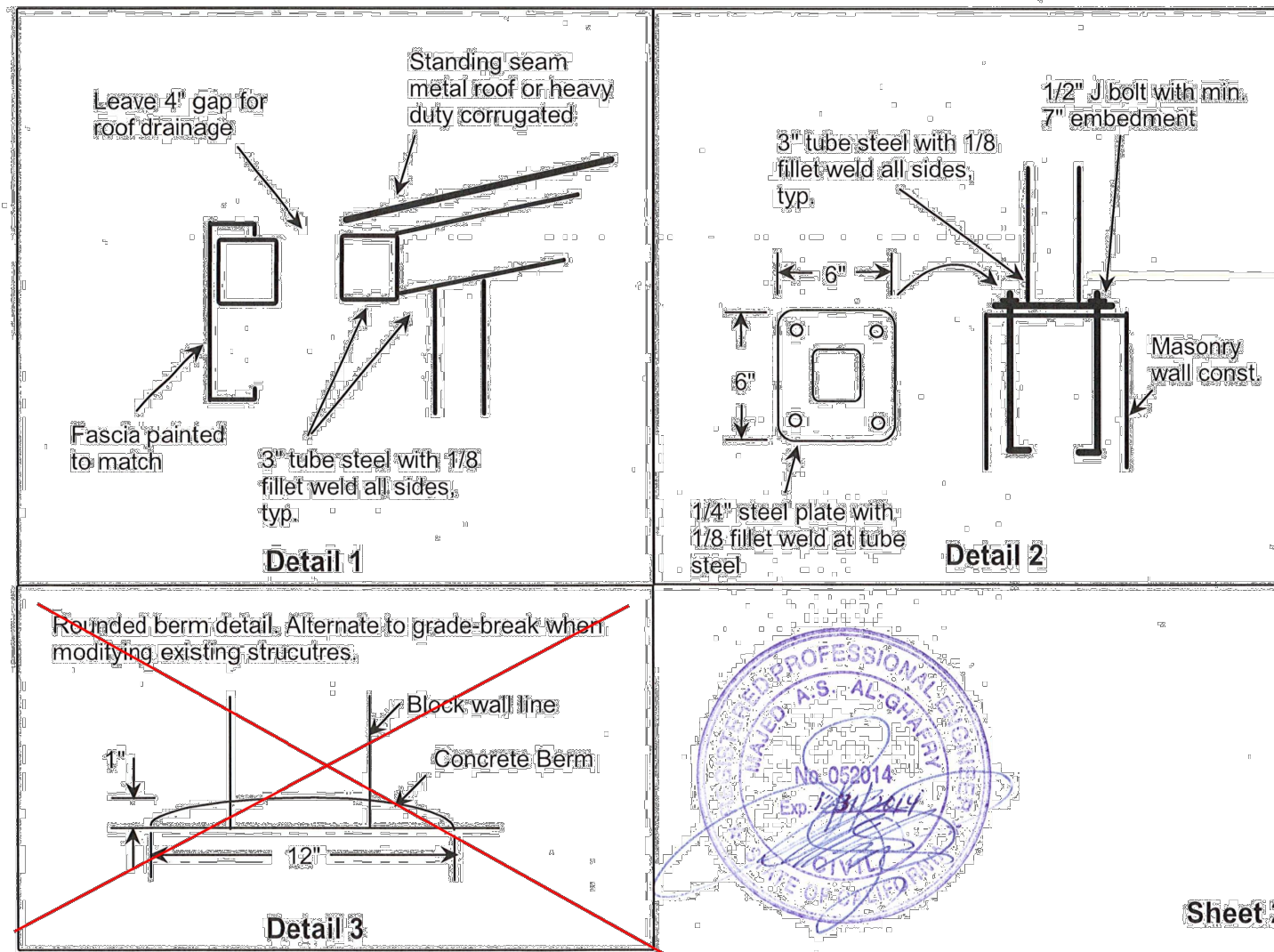


## Trash Enclosure Detail - 6'

### ROOF PLAN



Fascia painted to match



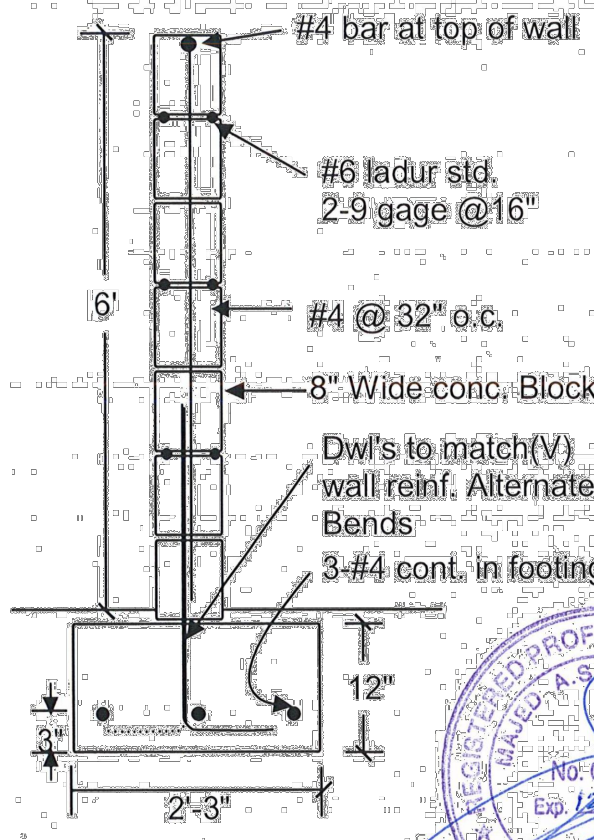
Sheet 2

## Trash Enclosure Detail - 6'

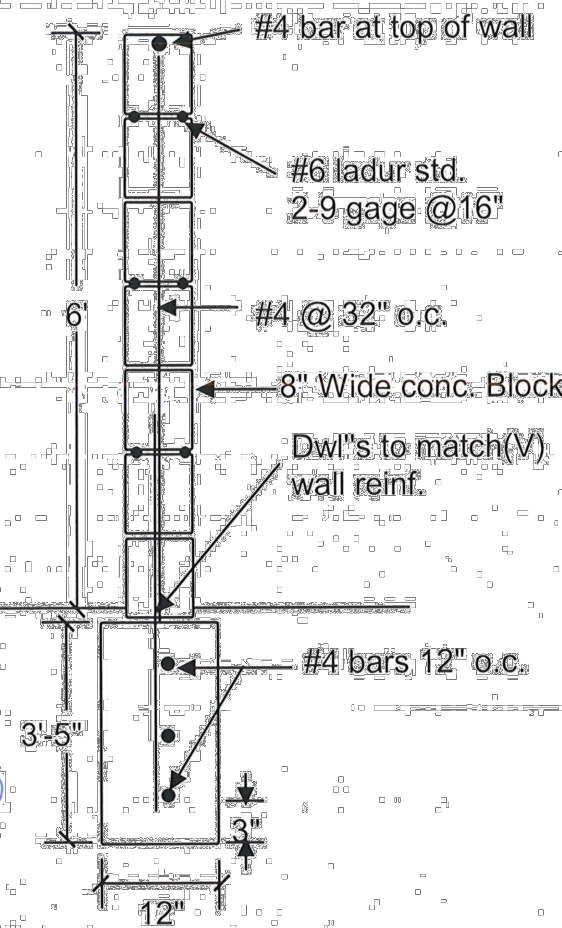
(Based on City of San Diego Master Plan 47A)

Wall and footing construction details for trash enclosure  
see notes on sheet 4

### Alternate 1



### Alternate 2



1. All material and workmanship shall conform to the requirements of the Building Code as currently adopted.
2. Concrete shall attain a compressive strength of 2,500 PSI min. at 28 days.
3. Block units shall be medium weight conforming to ASTM C90, Type 1 (latest revision), Fm = 1500 PSI.
4. Mortar shall be type S conforming to ASTM C270 or C1142 with compressive strength of 1,800 PSI min. at 28 days.
5. Grout shall be composed of the following ratio by volume: 1 part portland cement, 3 parts sand, 2 parts pea gravel, and sufficient water for pouring without segregation of grout constituents (min. comp. strength 2000 PSI at 28 days).
6. All reinforcing steel shall comply with ASTM A615, grade 60 for #4 bars. Center vertical steel in block cell.
7. Wall joint reinforcing steel shall be du-o-wall wire conforming to ASTM A82 and ASTM A641 - class 3 finish. Min. lap splice of joint reinforcement shall be 12 inches.
8. All cells containing reinforcement shall be solid grouted.
9. All horizontal reinforcing bars shall be placed in band beam units. All joint reinforcing shall be placed in mortared bed joint.
10. All grout shall be consolidated by vibrating immediately. Reconsolidate grout after initial water loss but before plasticity is lost to insure adequate consolidation.
11. Min. lap splice of reinforcing bars shall be 48 bar diameters.
12. Concrete block units are to be staggered (common bond) and are to have vertical continuity of cells unobstructed.
13. All footings must extend into firm undisturbed natural soil or soil which has been compacted to at least 90% max. density. Compaction reports for fill areas must be presented to building inspector at time of foundation inspection.
14. These walls shall not be constructed on expansive soil (index greater than 20) unless soil has been specifically prepared in accordance with recommendations of a civil or geotechnical engineer. These walls shall not be constructed in liquefiable soils or other soils of profile type Se or Sf.
15. Design assumes 1/2 inch plaster on both sides of wall.

Sheet 3

## Explanatory Notes for Trash Enclosure Standard

### Planning Division

1. Enclosures shall not be located within exterior yard setback areas or within 5 feet of any alley.
2. New enclosures shall be constructed to match and/or complement the development it supports by color and material.

### Storm Water

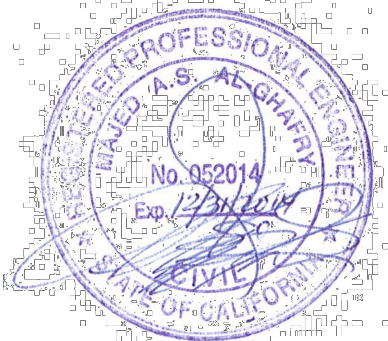
1. Dumpster lid(s) must be kept closed at all times.
2. Dumpster enclosure must be lockable and locked when not in use.
3. All existing and proposed trash enclosures shall have an impermeable roof that prevents rainwater from entering the trash enclosure. An alternative to the impermeable roof can be submitted for approval if it can be proven to the Storm Water Division that the project meets any of the following exceptions:
  - A. An existing trash enclosure that is within an area subject to Planning Department setback restrictions for structures.
  - B. No location exists where a proposed roofed trash enclosure can be constructed without violating Planning and Building and Fire Safety Department (Building) restrictions.
  - C. It can be demonstrated that the cost for constructing a roofed trash enclosure in any location and implementing any required fire suppression system (notwithstanding a fire suppression system otherwise required by Building) would be an excessive financial burden.
4. The sides of the roof shall extend no less than 6 inches further than the walls of the trash enclosure.
5. The height of the trash enclosure roof must account for rolling a dumpster in and out easily for disposal purposes and for closing of the lid.
6. ~~Drainage:~~
  - A. Any trash enclosure that has been determined by the Storm Water Division as meeting the trash enclosure roof exceptions listed above must drain any rainwater and garbage debris collected in the dumpster area to an adjacent landscaped area or sufficient sized treatment. Best Management Practice (BMP), such as an infiltration trench. Weep-holes or small diameter pipes may be utilized to drain the trash enclosure.
  - B. A drain that discharges to the sanitary sewer through the existing sewer lateral can also be constructed provided the trash enclosure has an impermeable roof and does not accept run-on rainwater.
7. Maintenance:
  - A. The trash enclosure shall be inspected at least daily for leaks from dumpster (if noted; dumpster shall be replaced).
  - B. Any standing liquids must be cleaned up and disposed of properly using a mop and bucket or with a wet-dry vacuum. Mopping/vacuuming must be done before and after a rain event if the trash enclosure cannot be roofed. All liquids shall be void of trash and put into the sanitary sewer. Trash enclosures shall never be cleaned using a hose or power-wash equipment.

### Fire

1. If trash enclosure is located closer than 10 feet to a building or property line a fire sprinkler system must be installed to comply with CFC 304.3.3. The wall on the property line side shall be solid to the roof sheathing if trash enclosure is located closer than 3 feet from the property line. If trash enclosure is located between 3 feet and 10 feet from the property line, the open area of the wall on the property line side shall not exceed the maximum per table 705.8 of the California Building Code.

### MAINTENANCE TIPS

- Double bag trash containing liquids or food before placing into dumpster OR dump liquids into the sanitary sewer, leaving the solids behind to be bagged and placed in the dumpster.
- Schedule a daily mopping of the TE at the end of the day shift.
- The City of El Cajon offers free storm water training materials for staff and managers.



Sheet 4

## TRASH ENCLOSURE DETAILS

### PRODUCT NAME ALACO SHIPS LADDERS MANUFACTURER ALACO LADDER CO.

5167 G STREET, CHINO, CA 91710-5143  
PHONE: (888) 310-7940 FAX: (909) 591-7565  
E-MAIL: SALES@ALACOLADDER.COM WEB SITE: WWW.ALACOLADDER.COM

### PRODUCT DESCRIPTION

#### BASIC USE

ALACO SHIPS LADDERS ARE DESIGNED FOR ACCESS TO ROOF HATCHES, MEZZANINES, EQUIPMENT LOFTS AND OTHER RESTRICTED SPACES, WITH HEAVY DUTY ALUMINUM TOP AND BOTTOM BRACKETS FOR A FIXED, PERMANENT INSTALLATION.

MODEL M1000-70 (775M-70) LADDER IS DESIGNED FOR USE WITH MEZZANINES. CONSULT FACTORY FOR ADDITIONAL STANDARD LADDER CONFIGURATIONS NOT SHOWN.

#### CONSTRUCTION & MATERIALS

ALACO ALUMINUM LADDERS AND THEIR COMPONENTS ARE FABRICATED FROM 6061-T6 ALUMINUM ALLOY FOR ADDED SAFETY, STRENGTH AND LONG-LASTING DURABILITY, WITH NO PAINTING REQUIRED.

MODEL M1000-70 (775M-70) SHIPS LADDERS FEATURE EXTRA HEAVY DUTY CAPACITY OF 1000 LB. TOTAL, 500 LB. PER STEP, 6" (153 MM) WIDE STEPS WITH NONSLIP RIDGES MOUNTED ON 12" (305 MM) CENTERS. THESE 24" (610 MM) WIDE LADDERS ARE EQUIPPED WITH 4 MOUNTING BRACKETS. EXTENDED HANDRAILS CONSIST OF 1-1/4" SCHED. 40 (42 MM OD) ROUND ALUMINUM PIPE WITH CAST ALUMINUM FITTINGS.

#### TYPE

SHIPS LADDERS- MODEL M1000-70 (775M-70)- MEZZANINE ACCESS

#### SIZES

HEIGHT- UP TO 20' (6.1 M)  
WIDTH- 24" (610 MM) STANDARD, 48" (1220 MM) MAXIMUM  
ANGLES- 75 STANDARD; 70, 65, 60 DEGREES AVAILABLE  
FINISHES & COATINGS

MILL FINISH IS STANDARD ON ALUMINUM LADDERS.

FACTORY APPLIED PAINT COATINGS AND CHEM-FILM TREATMENT FOR FIELD APPLIED PRIMERS ARE AVAILABLE UPON REQUEST.

CUSTOM COATINGS AND SURFACE TREATMENTS ARE ALSO OFFERED.

#### TECHNICAL DATA

#### APPLICABLE STANDARDS

AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) - ANSI A14.3 AMERICAN NATIONAL STANDARD FOR LADDERS - FIXED - SAFETY REQUIREMENTS

### APPROVALS

U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA)

ALACO ALUMINUM LADDERS ARE CERTIFIED TO MEET OSHA/ANSI A14.3 STANDARDS FOR FIXED WALL LADDERS.

#### ENVIRONMENTAL CONSIDERATIONS

METALS USED IN THESE PRODUCTS ARE PRESUMED TO BE RECYCLABLE UPON DEMOLITION.

#### PHYSICAL/CHEMICAL PROPERTIES

ADDITIONAL MATERIAL AND PRODUCT INFORMATION AND PERFORMANCE DATA ARE AVAILABLE TO DESIGN PROFESSIONALS UPON REQUEST.

#### INSTALLATION

#### PREPARATORY WORK

HANDLE AND STORE PRODUCT ACCORDING TO ALACO RECOMMENDATIONS.

#### METHODS

MODEL M1000-70 (775M-70) ALUMINUM SHIPS LADDER STANDARD ASSEMBLY  
ESTABLISH DISTANCE FROM THE LOWER FLOOR TO THE MEZZANINE FLOOR. LOCATE THE MOUNTING BRACKET CENTERLINE 2-1/2" (64 MM) BELOW THE MEZZANINE FLOOR. CHECK CLEAR FLOOR SPACE REQUIRED IN INSTALLED POSITION, THEN INSTALL THE LADDER TO 70 ANGULAR DEGREES. EXTENDED HANDRAILS ARE STANDARD AND CAN BE INSTALLED SINGULARLY OR ON BOTH SIDES OF THE LADDER SIDE RAILS.

COMPLETE INSTALLATION RECOMMENDATIONS FOR ALL PRODUCT MODELS ARE AVAILABLE FROM THE MANUFACTURER.

#### BUILDING CODES

BUILDING CODE REQUIREMENTS AND PRODUCT COMPLIANCE DATA CAN BE OBTAINED FROM THE MANUFACTURER. INSTALLATION MUST COMPLY WITH APPLICABLE LOCAL, STATE AND NATIONAL CODE JURISDICTIONS.

#### AVAILABILITY & COST

#### AVAILABILITY

CONTACT MANUFACTURER FOR INFORMATION ON PRODUCT AVAILABILITY.

#### COST

BUDGET PRICING AND INSTALLED COST INFORMATION MAY BE OBTAINED FROM THE MANUFACTURER.

#### WARRANTY

ALACO LADDERS CARRY A LIMITED WARRANTY OF 5 YEARS.

#### MAINTENANCE

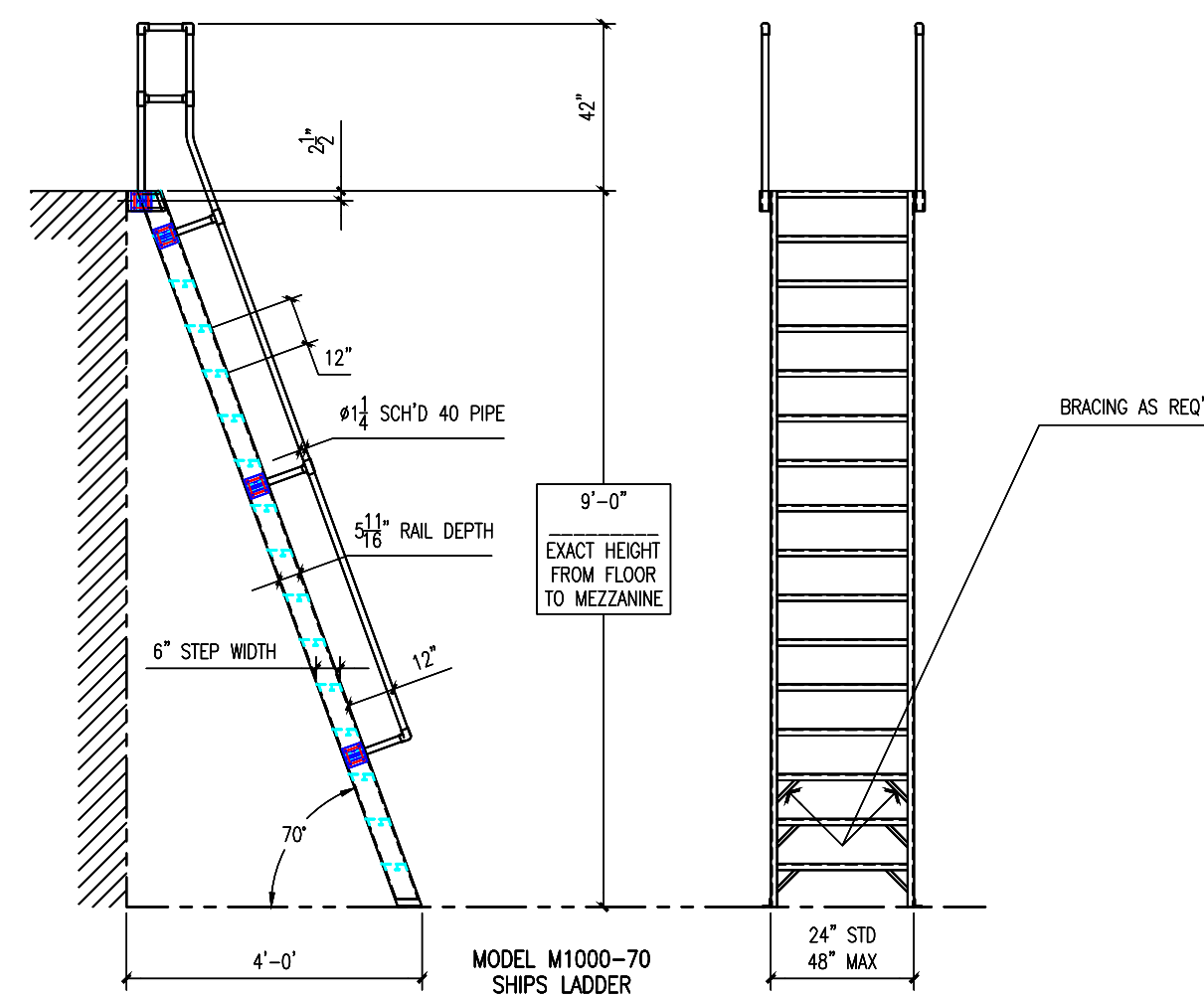
ALACO LADDERS ARE MAINTENANCE-FREE, WITH NO PAINTING REQUIRED.

#### TECHNICAL SERVICES

A STAFF OF FACTORY TRAINED SERVICE PERSONNEL OFFERS DESIGN ASSISTANCE AND TECHNICAL SUPPORT. ALACO LADDER CO. OFFERS SHOP DRAWINGS, GUIDE SPECIFICATIONS AND DESIGN CONSULTATION.

#### FILING SYSTEMS

ADDITIONAL PRODUCT INFORMATION IS AVAILABLE FROM THE MANUFACTURER UPON REQUEST.



## METAL LADDER DETAILS AND SPEC'S

SCALE: 1/4"=1'-0"

### REVISIONS



PLANS DESIGNED AND  
PREPARED BY:  
RABIE MIKHA  
TELL: (619) 729-5953

PROJECT:

EXPRESS AUTO REPAIR & TIRE

1316 BROADWAY  
EL CAJON CA 92021

## DETAILS & NOTES

DRAWN R.M.  
DATE 05/30/2021  
SCALE  
JOB NO.  
SHEET

D-1

OF SHEETS



## **STANDARD CONDITIONS OF DEVELOPMENT**

(Planning Commission Resolution No. 10649)

All projects approved by the Planning Commission shall comply with the following standard conditions, unless specifically exempted by the Commission or Council.

### **A. GENERAL**

1. The applicant shall comply with the school impact fee requirements of the Grossmont Union High School Districts, Cajon Valley, and La Mesa-Spring Valley School Districts when applicable.
2. For projects that require a grading permit and excavate more than three feet into native soils, and prior to the issuance of a Building Permit, the applicant shall submit a letter to the Planning Manager agreeing to suspend construction in the vicinity of a cultural resource encountered during development of the site, and leave the resource in place until a qualified archaeologist can examine them and determine appropriate mitigation measures. All fees and expenses for the retaining of a qualified archaeologist shall be paid by the applicant and shall not be at City expense. The applicant shall agree to comply with mitigation measures recommended by the archaeologist and approved by the Planning Manager.

### **B. PROJECT SITE**

1. The applicant shall comply with all regulations and code requirements of the Building and Fire Safety Division, Public Works Department, the Police Department and any other agencies requiring review of the project. If required, these agencies shall be supplied copies of the final building and site plans.
2. All landscape areas that adjoin parking spaces, driveways, vehicular circulation areas, or the public right-of-way shall be protected from encroachment by vehicles in a manner that also complies with state storm water regulations, which require storm water to be discharged to landscaped areas in order to reduce or eliminate the discharge of pollutants. The method of protection shall be determined by the Deputy Director of Public Works. The approved method may include six-inch high curb segments, wheel stops, decorative rock bands, or other methods determined to be acceptable by the Deputy Director of Public Works.
3. Environmental and engineering studies, as directed by the Planning Manager, must be complete and on file prior to commencement to plan checking. Developer shall install off-street improvements determined necessary by the City Engineer to provide safe traffic conditions.
4. Developer shall underground existing and required on and off-site utilities as specified in Chapter 15 of the Municipal Code, or as deemed necessary by the City Engineer.

5. All development projects shall comply with Title 12 (Streets and Sidewalks), and Title 13 (Water, Sewers, Grading, Erosion and Storm Water) of the El Cajon Municipal Code as determined by the City Engineer.
6. All retaining walls visible from public right-of-ways shall include decorative elements, subject to approval by the Planning Division.
7. The design of any masonry sound wall shall be approved by the Planning Division. Such walls shall match or be architecturally compatible with existing sound walls of neighboring projects along that street. All masonry walls shall have a trim cap.

**C. ARCHITECTURE**

1. All exterior materials and colors used in this project shall be in conformance with the materials and color samples approved as a part of this application.
2. All mechanical, and/or roof mounted equipment shall be architecturally screened from public view.
3. All trash/recycling enclosures shall be constructed of masonry material with view-obscuring doors. The enclosure shall include materials and colors consistent with the primary building and meet appropriate Storm Water Division requirements. Required roofs shall match elements of the primary building and shall include a fascia trim.
4. All vents, gutters, downspouts, flashing, electrical conduits, etc., shall be painted or finished to match the color of the adjacent surface, unless otherwise directed by the Planning Commission.
5. Soffits and other architectural elements visible from view but not detailed on the plans shall be finished in a manner that is architecturally compatible with the exterior of the building.
6. Finish quality of approved exterior design elements shall be subject to approval of the Planning Division prior to issuance of Certificate of Occupancy.
7. Any decorative elements around the base of a building (stone veneer or tile, etc.) shall be finished with a decorative cap or trim piece.

**D. LANDSCAPING**

1. Specific landscaping for screening shall have an appearance of mature growth subject to a field check and approval by the Planning Division prior to the issuance of a Certificate of Occupancy.
2. All existing trees to remain shall be shown on the grading plan.



3. The area under the drip line of all existing trees that are to remain shall be protected during construction by a fence or other acceptable means. Grading shall be restricted under the trees to prevent soil compaction and to prevent root damage.
4. All sloped banks greater than three (3) feet in vertical height and 2:1 or greater slope shall be landscaped and irrigated for erosion control and to soften their appearance as follows: deep-rooting grasses, ground cover and shrubs. Shrubbery shall be a minimum one-gallon size and shall have a minimum separation of one (1) times the mature width and on slopes of 10 feet or more in vertical height shall include, a minimum of one (1) tree for every 600 square feet of the total slope area. Trees shall be a minimum five-gallon size and shall be spaced a minimum of 30 feet apart. Trees and shrubs shall be planted in staggered clusters to soften and vary the slope plane. Slope planting required by this condition shall include a permanent irrigation system to be installed by the developer prior to occupancy.
5. All landscaping shall be maintained in good growing condition. Such maintenance shall include, where appropriate, pruning, mowing, weeding, cleaning of debris and trash, fertilizing and regular watering. Whenever necessary, dead or dying plants shall be replaced with other plant materials to ensure continued compliance with applicable landscaping requirements. Required irrigation systems shall be fully maintained in sound operating condition with heads periodically cleaned and replaced when missing to ensure continued regular watering of landscape areas, and health and vitality of landscape materials.

**E. MISCELLANEOUS**

1. Final occupancy shall not be granted until all construction and landscaping is complete in accordance with all approved plans. Under certain circumstances, a temporary occupancy may be granted prior to final inspection.
2. It is the responsibility of the applicant or developer to check with each agency for requirements that may pertain to their project.
3. All signs shall be submitted to the Planning Division for review and approval per Section 17.190.060 of the El Cajon Municipal Code.
4. The site shall be maintained in a neat and clean manner free of trash and debris.
5. Certain outdoor equipment, such as satellite dishes and back-flow prevention devices shall be visually screened or painted to match surroundings upon installation subject to the approval of the Planning Division. Screening devices shall be shown on construction and/or landscape plans.
6. Water backflow protection for new residential and modified residential projects shall include a protection device at the fire service point of connection, or an internal passive purge system. Annual testing is required for protection devices. Contact Helix Water District at 619.466.0585 for additional information.

7. All exterior light fixtures shall be shown on a lighting plan and made part of construction drawings subject to staff review and approval. All lights attached to buildings shall provide a soft “wash” of light against the wall. All building, parking, and yard lights shall conform to the City General Development Standards 17.130.150 and Performance Standards 17.115.130 (G) and shall complement the site and building architecture.
8. The removal of trees shall not take place during the bird-nesting (breeding) season (February 1 through August 15), unless written authorization from a qualified biologist to proceed with tree removal is submitted to the Planning Division. If clearing is proposed to take place during the breeding season, a survey shall be conducted by the qualified biologist to determine if nests are present, or nest building or other breeding/nesting behavior is occurring. If nesting is not occurring (which includes nest building or other breeding/nesting behavior) within this area, clearing shall be allowed to proceed. If nesting is occurring (or breeding/nesting behavior is occurring), tree removal shall be postponed until a qualified biologist determines that all nesting (or breeding/nesting behavior) has ceased or until after August 15.
9. The placement of bollards within parking areas and driveways shall only be permitted when no other alternative design (curbs or landscaping) is feasible and accepted by the Building Official.