



City of El Cajon

Planning Commission Agenda

Tuesday, April 6, 2021 Meeting

7:00 PM

PAUL CIRCO, Chair
ANTHONY SOTTILE, Vice Chair
DARRIN MROZ
REBECCA POLLACK-RUDE
ELIZABETH VALLES

Meeting Location: City Council Chambers, 200 Civic Center Way, El Cajon, CA (via virtual meeting)
www.cityofelcajon.us/your-government/departments/community-development/planning-division

Please note that, pursuant to the Governor of the State of California Governor's Executive Order N-29-20, and in the interest of the public health and safety, members of the Planning Commission and Staff may attend the meeting telephonically. Further, Orders from the San Diego County Health Officer prevent persons other than City officials and essential employees to be physically present.

In accordance with the Executive Order, and in compliance with the County Health Officer's Orders, the public may view the meeting and participate via the online meeting platform, Zoom Webinar. You may access the virtual meeting via the link below or log in to Zoom.us and use the meeting ID number below. You can also use the phone number listed below to call in and listen to the meeting. You do not need a computer to access the meeting via phone.

Meeting Link	https://zoom.us/j/97052511279
Webinar ID	97052511279
Phone Audio Option:	1 669 900 6833

If you need assistance connecting via Zoom to the meeting, please refer to the instructions provided at zoom.us. Video tutorials on how to connect to Zoom are provided at the following link: <https://support.zoom.us/hc/en-us>.

To submit comments on an item on this agenda, or a Public Comment, please e-mail the comments with Planning Commission in the subject line to planning@cityofelcajon.us before 5 p.m. on Tuesday, April 6, 2021, or you may submit written comments during your participation in the Zoom meeting. Comments will be accepted up to the conclusion of the public hearing of each item. Comments will be limited to 300 words and will be entered into the official Commission Meeting Record.

The Planning Commission will endeavor to include all comments prior to taking actions. Should technical difficulties arise, they will be resolved as soon as possible.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

CHAIRPERSON'S WELCOME

Decisions and Appeals - A decision of the Planning Commission is not final until the appeal period expires 10 days from the date of transmittal of the Commission's resolution to the City Clerk. The appeal period for the items on this Agenda will end on Monday, April 19, 2021 at 5:00 p.m., except that Agenda items which are forwarded to City Council for final action need not be appealed.

PUBLIC COMMENT

This is the opportunity for the public to address the Commission on any item of business within the jurisdiction of the Commission that is not on the agenda. Under state law no action can be taken on items brought forward under Public Comment except to refer the item to staff for administrative action or to place it on a future agenda. Non-agenda public comments must be submitted before the end of public comment during the meeting.

CONSENT

Agenda Item:	1
	Planning Commission minutes of March 16, 2020

PUBLIC HEARINGS

Agenda Item:	2
Project Name:	Broadway Banquet Hall
Request:	Banquet Hall with On-sale Service
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number(s):	CUP-2020-0001
Location:	1120 Broadway
Applicant:	Hani Toma
Project Planner:	Melissa Devine, mdevine@cityofelcajon.us, 619-441-1773
City Council Hearing Required?	No
Recommended Actions:	1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the proposed CEQA exemption and CUP No. 2020-0001, subject to conditions.

4. OTHER ITEMS FOR CONSIDERATION

Election of Chair and Vice Chair

5. STAFF COMMUNICATIONS

Project update

6. COMMISSIONER REPORTS/COMMENTS

Report from Commissioner Valles regarding the Planning Commissioners Academy training.

7. ADJOURNMENT

This Planning Commission meeting is adjourned to April 20, 2021 at 7 p.m.

Decisions and Appeals - A decision of the Planning Commission is not final until the appeal period expires 10 days from the date of transmittal of the Commission's resolution to the City Clerk. The appeal period for the items on this Agenda will end on Monday, April 19, 2021 at 5:00 p.m., except that Agenda items which are forwarded to City Council for final action need not be appealed.



MINUTES PLANNING COMMISSION MEETING March 16, 2021

The meeting of the El Cajon Planning Commission was called to order at 7:00 p.m.

PLEDGE OF ALLEGIANCE & MOMENT OF SILENCE.

COMMISSIONERS PRESENT: Paul CIRCO (Chair) / *(via virtual platform)*
Darrin MROZ *(via virtual platform)*
Rebecca POLLACK-RUDE *(via virtual platform)*
Anthony SOTTILE (Vice Chair) *(via virtual platform)*
Elizabeth VALLES *(via virtual platform)*

COMMISSIONERS ABSENT: None

STAFF PRESENT: Melissa DEVINE, Planning Manager / *(via virtual platform)*
Spencer HAYES, Associate Planner / *(via virtual platform)*
Barbara LUCK, Staff Attorney / *(via virtual platform)*
Laura JUSZAK, Customer Service Rep. / *(via virtual platform)*

Chairman CIRCO explained the procedures of the virtual meeting, which is in compliance with the State of California Governor's Executive Order, and the County of San Diego's Health Officer's Orders.

PUBLIC COMMENT:

There was no public comment.

Chair CIRCO and DEVINE introduced new Commissioner VALLES.

CONSENT CALENDAR:

Agenda Item:	1
	Planning Commission minutes of February 16, 2021

LUCK explained that new Commissioner VALLES would abstain from voting on minutes because she wasn't a Commissioner at that meeting.

Motion was made by SOTTILE, seconded by MROZ, to approve the February 16, 2021 minutes; carried 4-0, with VALLES abstaining.

PUBLIC HEARING ITEM:

Agenda Item:	2	
Project Name:	Draft Housing Element Workshop	
Request:	Workshop	
CEQA Recommendation:	NOT SUBJECT TO CEQA	
STAFF RECOMMENDATION:	APPROVE	
Project Number(s):	General Plan and Housing Element	
Location:	Citywide	
Applicant:	City of El Cajon	
Project Planner:	Melissa Devine, mdevine@cityofelcajon.us, 619-441-1773	
City Council Hearing Required?	No	
Recommended Actions:	1. Receive staff presentation; and 2. Provide staff with feedback	

DEVINE and HAYES summarized the staff report through a PowerPoint presentation.

Veronica TAM and Holli ANDERSON of Veronica Tam and Associates, consultants assisting staff with the Housing Element update, also spoke and answered Commissioners' questions.

No public comments were received prior to, or during the meeting.

DEVINE indicated the Housing Element will come before the Planning Commission for approval later in 2021.

ADJOURNMENT:

Motion was made by CIRCO, seconded by SOTTILE, to adjourn the meeting of the El Cajon Planning Commission at 8:11 p.m. this 16th day of March 2021 until 7:00 p.m., Tuesday, April 6, 2021; carried 5-0.

Paul CIRCO, Chair

ATTEST:

Melissa DEVINE, Secretary



Community Development Department
PLANNING COMMISSION AGENDA REPORT

Agenda Item:	2
Project Name:	Broadway Banquet Hall
Request:	Banquet Hall with On-sale Service
CEQA Recommendation:	Exempt
STAFF RECOMMENDATION:	APPROVE
Project Number:	Conditional Use Permit (CUP) No. 2020-0001
Location:	1120 Broadway
Applicant:	Hani Toma; 619-466-0000
Project Planner:	Melissa Devine; 619-441-1773; mdevine@cityofelcajon.us
City Council Hearing Required?	No
Recommended Actions:	<ol style="list-style-type: none"> 1. Conduct the public hearing; and 2. MOVE to adopt the next resolutions in order, approving the CEQA exemption and CUP No. 2020-0001 subject to conditions.

PROJECT DESCRIPTION

This project proposes to demolish an existing commercial building and construct a new-21,583 square-foot banquet hall with accessory on-sale alcohol service. The banquet hall is intended to provide a venue for special events. Other site improvements include 104 parking spaces, new landscaping, lighting, and fencing. The subject property is located on the north side of Broadway between North 1st and Oro Streets, and is addressed as 1120 Broadway.

BACKGROUND

General Plan:	General Commercial (GC)
Specific Plan:	N/A
Zone:	General Commercial (C-G)
Other City Plan(s):	Site Development Plan (SDP) No. 885
Regional and State Plan(s):	None
Notable State Law(s):	None

Project Site & Constraints

The subject property is approximately 1.48 acres and consists of one L-shaped parcel. The site is relatively level and currently developed with a small commercial building and paved parking lot. The existing commercial building and property has been in use in recent years as a Penske leasing facility.

The Broadway Channel, a concrete flood control channel, runs along the northerly portion of the property. Portions of the site are within the 100-year and the 500-year flood zones. The County of San Diego border is immediately to the north.

The project site is within Review Area II of the Gillespie Field ALUCP. An FAA determination of no hazard to air navigation will be required prior to building permit issuance.

Surrounding Context

The site is located in the Broadway corridor, which is a mix of commercial and residential properties. Properties surrounding the site are developed and zoned as follows:

Direction	Zones	Land Uses
North (unincorporated area)	RV	Residential
South (across Broadway)	C-G	Commercial
East	C-G	Commercial
West	C-G	Commercial

General Plan

The project site is designated General Commercial (GC). As described in the Land Use Element of the General Plan, GC designation is intended to include a full range of commercial retail and office uses.

Zoning Code

El Cajon Municipal Code (ECMC) section 17.145.150 indicates that places of assembly, including banquet halls can be established by CUP in the C-G zone. ECMC section 17.210.130 requires approval of a CUP for the service of alcoholic beverages, and includes operational standards for the conduct of such uses. The CUP is intended to ensure compliance with applicable development standards, use restrictions, and compatibility with surrounding properties and land uses.

Alcohol Beverage Control Act

The sale of alcohol is regulated by the Alcoholic Beverage Control (ABC) Act (Business and Professions Code sections 23000-25762). The ABC Department administers the provisions of the ABC Act including the licensing process. They handle the administration, licensing, and compliance of licenses in accordance with the Business and Professions Code which outlines criteria for approving or denying licenses which allows for local participation that can impose regulations pursuant to valid police and/or land use authority. Criteria includes crime rates, overconcentration of licenses and compliance with local zoning regulations.

DISCUSSION

Land Use

The proposed banquet hall is intended to provide a venue for a variety of events. The nearest event facility is Royal Palace located at the corner of Broadway and Bostonia Street, approximately ½ mile east from the subject property. Other banquet halls, centered in the downtown area, include the Crystal Palace and Babylon Palace on Magnolia Avenue and the Palms and Prestige Banquet Halls on East Main Street. According to the applicant, there is a demand for modern banquet hall facilities with the capacity for large events in El Cajon.

Many commercial buildings on Broadway have been re-purposed for other uses. Recently, the former Walgreens on Broadway and North 2nd Street is now St. Paul's PACE Center, and the former Vons just to the west is in the process of becoming a church facility. There are indications that this area may no longer be desirable for commercial tenants. Commercial buildings are vacant for long periods of time, and new investment, in terms of new buildings or maintenance and upkeep, is limited. The re-use of this site for a banquet hall would be provide a long-term viable use of the property.

Operations

The proposed hours of operation are from 11:00 a.m. to 2:00 a.m. daily. Events will take place in the afternoon and evening hours. According to the applicant's project description, the banquet hall would be available for larger and small events and could accommodate up to two events at one time with a maximum capacity of 1,000 people.

On-sale Alcoholic Beverage Service

The applicant is requesting on-sale service in order to be able to serve alcohol in conjunction with food to adults attending private indoor social. The site is located within Census Tract 165.02, which has a low to average crime rate. There are four active on-sale licenses within the census tract, although two of the licenses for on-sale and catering are held by the same business. Based on population, the census tract is authorized for four on-sale licenses. However, there are no concerns from the Police Department regarding the proposed license.

The proposed banquet hall will have conditions of approval specifically designed to prevent nuisance activities associated with on-sale of alcoholic beverages. ABC standards and Responsible Beverage Service (RBS) training will be required for employees serving alcoholic beverages. RBS training is used to educate and guide alcohol servers of ABC-licensed establishments at various levels. RBS provides individually customized training about pertinent laws, policies, rules and regulations associated with alcohol service for special event servers, professional servers, and supervisor/managers of servers.

Compatibility

The site is primarily surrounded by commercial uses but does abut residentially-zoned and developed property in unincorporated San Diego County to the north. The nearest

residence is 55 feet away from the building. Two lobby areas are provided to allow for reception and gathering inside the building. Since all activities will be conducted indoors, noise and activity should be similar to other commercial uses. Windows and exits along the north face of the building have been minimized to reduce noise levels adjacent to the residential properties. Doors are also self-closing to minimize noise from the indoor event. Because there is the possibility for late night events, conditions of approval will require the operator to provide an attendant in the parking lot for events beyond 10 p.m. to direct guests to their cars and not to linger or make noise in the parking lot.

The site does provide the required minimum parking for the use. See discussion below. However, there is limited on-street parking available in the vicinity. There is the potential for overflow parking in the neighborhood, which could affect businesses and adjacent properties. A condition of approval will require an Event Management Plan be submitted and approved prior to permit final, which will identify overflow or alternative parking arrangements for events of 500 or more people. This could include agreements with neighboring properties to use parking lots after hours or shuttle service to off-site parking areas.

Staff is recommending a 6-month review once the venue is open for events, which will include a notice to the surrounding neighbors. If noise or parking do become issues, further limitations on hours or event capacity could be imposed upon further review of the CUP. Neighboring property owners or residents did not raise any concerns in response to noticing on this project.

Site Design

The banquet hall is a two-story building with a large banquet space that can be divided into two separate event spaces accessed by two separate lobbies. A commercial kitchen and restrooms are also located on the first floor. The second floor mezzanine area contains storage space for tables, chairs, and dining room service.

The proposed building is located within the interior of the property and a surface parking lot for 104 vehicles is provided along the frontage. The frontage will be landscaped and finger islands within the parking lot provide for further landscaping including shade trees. Light standards will provide illumination within the parking lot. The applicant has stated the intention to fence and gate the property for safety.

Development Standards

The development proposal meets the minimum requirements of the C-G zone. Parking is provided at the public assembly ratio of one space per 200 square feet of floor area except for a minor reduction for storage area. The entire second floor is intended for storage purposes. ECMC section 17.130.255 allows up to 800 square feet of storage to be added to a building without additional parking. This results in a reduction of four parking spaces. 104 parking spaces are provided where 108 would be required without the reduction for storage.

Development Standard	Regulations	Proposed
Front Setbacks	10 feet	10 feet
Setback from Residential	10 feet	27 feet
Parking	1 space per 200 square feet of floor area	104 spaces 1 space per 200 square feet of floor areas except for 800 square feet of storage area
Trash Enclosure	One double-binned enclosure	One double-binned enclosure
Building Height	Maximum 35 feet	30 feet
Required Walls	6 foot high residential boundary wall	Condition of approval

Architecture and Design

The building has a contemporary design with an earth tone brown and grey color palette with aluminum accents. Inverted columns draw attention to the entrance canopy that is framed by two glass storefront lobby entrances on the west elevation. The building materials include a wood-grain metal paneling, light grey stucco, and grey tile. The wood-grain paneling and window features wrap to the north and south elevations. The east elevation is located at zero lot line.

FINDINGS

The Commission shall approve issuance of the permit upon meeting the CUP findings listed in section 17.50.060 and 17.210.160. If the Commission can make all of the findings, it must approve the issuance of the CUP. The findings for CUP approval are as follows:

- A. *The proposed project is consistent with applicable goals, policies, and programs of the General Plan and with any applicable specific plan.*

The General Commercial land use designation in the General Plan is intended to accommodate a full range of commercial uses including assembly uses. The proposed banquet hall would host cultural events and community events in a new modern facility that will upgrade the appearance of this area of Broadway with a clean building design, new landscaping, lighting, and paving improvements.

- B. *The proposed site plan and building design are consistent with all applicable use and development standards.*

The proposed banquet hall complies with all of the applicable land use and development standards of the C-G zone. The reduction in parking for the storage area will be mitigated through an event management plan that will identify additional

overflow parking for large events. Conditions of approval will ensure that operations adhere to performance standards.

- C. *The proposed project will be operated in a manner that is compatible with existing and planned land uses in the vicinity of the proposed use.*

The vicinity of the subject property is developed with commercial and residential uses. All activities will be conducted indoors. However, due to the proximity of residences, conditions of approval require a parking lot attendant for late evening events and an event management plans to address circulation and parking for large events. Furthermore, a six-month review of operations will be conducted to ensure continued compatibility.

- D. *The proposed project will not be detrimental to the public health, safety, and general welfare, including but not limited to matters of noise, smoke, dust, fumes, vibration, odors, and hazards or excessive concentrations of traffic.*

Impacts are not anticipated with the normal conduct of a banquet hall. If the establishment does become a nuisance, the city has performance standards for those impacts that are addressed through code enforcement actions when complaints are received. Furthermore, there are no identified existing problems in the project vicinity that may be exacerbated by on-sale service such as loitering, public drunkenness, noise, and littering. The establishment could face revocation if found to be out of compliance.

- E. *The proposed use is in the best interest of public convenience and necessity.*

The proposed banquet hall would provide a modern facility to host community events such as wedding receptions. This banquet facility would be the only new construction, modern facility in El Cajon. It is in the best interest of El Cajon residents to have a modern banquet facility to serve as a venue for celebratory events.

- F. *The proposed alcoholic beverage sales activity will not exacerbate existing problems in the neighborhood created by the sale of alcohol such as loitering, public drunkenness, sale of alcoholic beverages to minors, noise and littering.*

The subject site is in an area of low to average crime and any ongoing issues in the community are not anticipated to be exacerbated by on-sale service at the banquet hall. Conditions of approval only allow for on-sale service in conjunction with food as part of an event within the building, which is not expected to result in neighborhood issues.

- G. *The proposed alcoholic beverage sales establishment will not detrimentally affect nearby neighborhoods considering the distance of the alcohol establishment to residential buildings, schools, parks, playgrounds or recreational areas, nonprofit youth facilities, places of worship, hospitals, alcohol or other drug abuse recovery or treatment facilities, county social service offices, or other alcoholic beverages sales activity establishments.*

Alcoholic beverages will be served to guests as part of private events hosted at the banquet hall. Service is not available to the general public, and, therefore, not anticipated to result in impacts to any nearby sensitive uses.

H. The proposed alcoholic beverage sales establishment is not located in what has been determined to be a high-crime area or where a disproportionate number of police service calls occur. In the alternative, if the proposed alcoholic beverage sales establishment is proposed to be located in a high-crime area or where a disproportionate number of police service calls occur, the establishment has or will adopt appropriate safeguards, to be set forth in conditions of approval, reasonably intended to prevent any increase in criminal activities and calls for service.

The site is located within a census tract with low to average crime rate. The on-sale service of alcohol is not expected to result in an increase in criminal activity or calls for service. Furthermore, conditions of approval allow for reconsideration or revocation of the CUP if a problem arises.

CALIFORNIA ENVIRONMENTAL QUALITY ACT

The proposed project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) according to section 15332, Class 32 (In-fill Development Projects) of the CEQA Guidelines. Section 15332 provides an exemption for a project that meets the following criteria: the project is consistent with applicable general plan designations and zoning regulations; the proposed development is on a site no more than five acres, substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare, or threatened species; the proposed project would not result in significant effects to traffic, noise, and air or water quality; and, the site can be adequately served by all utilities. The proposed banquet hall with on-sale service is consistent with the General Commercial land use designation and C-G zone and meets all developments standards. The project site is previously developed, served by utilities and within a fully urbanized area. There is no potential for habitat on the property. The project is not anticipated to result in any significant impacts related to traffic, noise, air or water quality. Therefore, the project meets criteria for a Class 32 in-fill development project. None of the exemptions listed under CEQA Guidelines section 15300.2 exist.

PUBLIC NOTICE & INPUT

A notice of application was mailed to property owners and tenants within 300 feet of the subject property on February 1, 2021. One response was received requesting additional information and concluded that the project would have no impact on her property. Notice of this public hearing was mailed on March 18, 2021, to all property owners within 300 feet of the project site and to anyone who requested such notice in writing, in compliance with Government Code sections 65090, 65091, and 65092, as applicable. Additionally, as a public service, the notice was posted in the kiosk at City Hall and on the City's website. No comments were received in response to the public hearing notice.

RECOMMENDATION

Staff is recommending approval of CUP No. 2020-0001 for a new banquet hall with on-sale service.

REVIEWED BY:



Melissa Devine
PLANNING
MANAGER

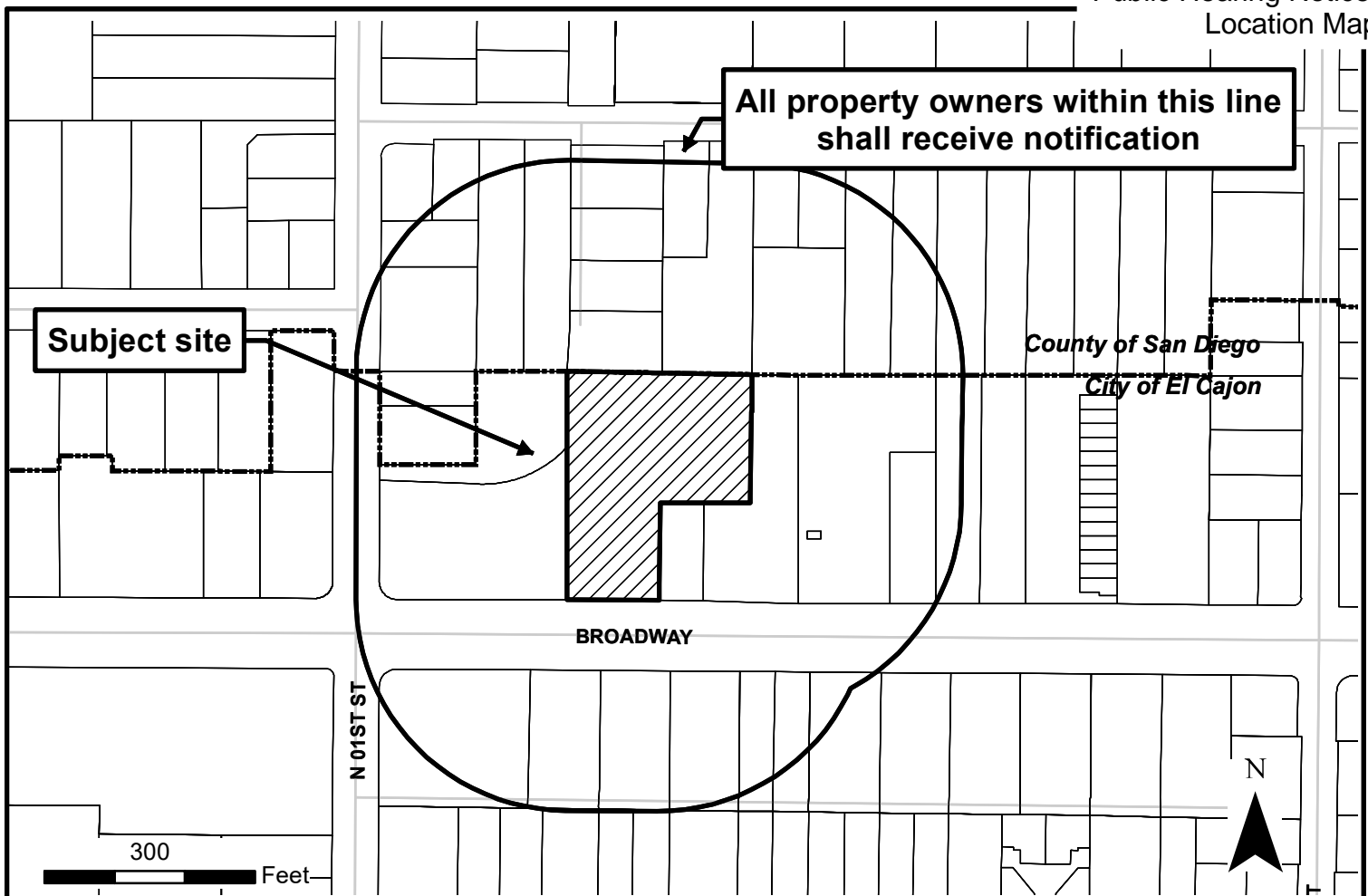
APPROVED BY:



Anthony Shute
DIRECTOR OF
COMMUNITY
DEVELOPMENT

ATTACHMENTS

1. Public Hearing Notice/Location Map
2. Proposed Resolution APPROVING CEQA exemption
3. Proposed Resolution APPROVING CUP No. 2020-0001
4. Aerial Photograph of Subject Site
5. Application & Disclosure Statement
6. Project Description
7. Site Plan
8. Floor Plan
9. Elevations
10. Rendering
11. Landscape Concept Plan



**NOTICE OF PROPOSED
CONDITIONAL USE PERMIT
BROADWAY BANQUET HALL**

NOTICE IS HEREBY GIVEN that the El Cajon Planning Commission will hold a public hearing at **7:00 p.m., Tuesday, April 6, 2021**, in the City Council Chambers, 200 Civic Center Way, El Cajon, CA, to consider:

CONDITIONAL USE PERMIT NO. 2020-0001 as submitted by Hani Toma on behalf of Mar Toma, LLC requesting to permit a 21,583 square-foot banquet hall with on-sale alcohol service. The development includes the demolition of the existing commercial building and construction of the new banquet hall, surface parking lot, and landscape improvements. The subject property is located on the north side of Broadway between North 1st and Oro Streets and is addressed as 1120 Broadway. This project is exempt from the California Environmental Quality Act (CEQA).

The public is invited to attend and participate in this public hearing. The agenda report for this project will be available 72 hours prior to the Planning Commission meeting at <https://www.cityofelcajon.us/your-government/city-meetings-with-agendas-and-minutes-all>. Please contact Planning at 619-441-1742 if a paper copy of the agenda is needed.

Due to the highly contagious nature of the Covid-19 virus, the Planning Commission may attend the meeting telephonically. The City has provided alternative means to observe the meeting through participation in the online meeting. Meeting details will be available in the meeting agenda 72 hours in advance of the meeting.

Members of the public who wish to send comments on this item, or a Public Comment, are asked to follow the directions in the agenda to provide comments. Comments will be received up to the vote or conclusion of each item. The Planning Commission will endeavor to include all comments prior to taking action and will announce when the comment period for an item will conclude, prior to taking any action or concluding the discussion on the item.

If you challenge the matter in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice or in written correspondence delivered to the Commission, or prior to, the public hearing. The City of El Cajon encourages the participation of disabled individuals in the services, activities, and programs provided by the City. Individuals with disabilities who require reasonable accommodation in order to participate in the public hearing should contact Planning at 619-441-1742. More information about planning and zoning in El Cajon is available at <http://www.cityofelcajon.us/your-government/departments/community-development/planning-division>.

If you have any questions, or wish any additional information, please contact **Melissa Devine** at 619-441-1773 or via email at mdevine@cityofelcajon.us and reference "CUP-2020-0001" in the subject line.

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) EXEMPTION 15332 (IN-FILL DEVELOPMENT PROJECTS) FOR CONDITIONAL USE PERMIT NO. 2020-0001 FOR A NEW BANQUET HALL WITH ON-SALE ALCOHOL SERVICE ON THE NORTH SIDE OF BROADWAY BETWEEN NORTH 1ST AND ORO STREETS IN THE GENERAL COMMERCIAL (C-G) ZONE, APN: 484-184-35, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on April 6, 2021, to consider Conditional Use Permit (CUP) No. 2020-0001, as submitted by Hani Toma on behalf of Mar Toma LLC, requesting a new banquet hall with on-sale alcohol service in the General Commercial (C-G) zone, on the north side of Broadway between North 1st and Oro Streets, and addressed as 1120 Broadway, APN: 484-184-35; and

WHEREAS, in accordance with CEQA Guidelines section 150061(b)(2), , the Planning Commission reviewed and considered the information contained in the project staff report; and

WHEREAS, it is proposed that the project is exempt from CEQA under section 15332, Class 32 (In-fill Development Projects) of CEQA Guidelines. Section 15332 provides an exemption for a project that meets the following criteria: the project is consistent with applicable general plan designations and zoning regulations; the proposed development is on a site no more than five acres, substantially surrounded by urban uses; the project site has no value as habitat for endangered, rare, or threatened species; the proposed project would not result in significant effects to traffic, noise, and air or water quality; and, the site can be adequately served by all utilities; and

WHEREAS, the proposed banquet hall with on-sale service is consistent with the General Commercial land use designation and C-G zone and meets all developments standards; and

WHEREAS, the project site is previously developed with no potential for habitat, served by utilities and within a fully urbanized are; and

WHEREAS, the project is not anticipated to result in any significant impacts related to traffic, noise, air or water quality; and

WHEREAS, none of the exemptions listed under CEQA Guidelines section 15300.2 exist; and

WHEREAS, the Planning Commission reviewed and considered the information

contained in the project staff report; and

WHEREAS, after considering evidence and facts, the Planning Commission did consider the proposed CEQA exemption as presented at its meeting.

NOW, THEREFORE, BE IT RESOLVED by the El Cajon Planning Commission as follows:

Section 1. That the foregoing recitals are true and correct, and are findings of fact of the El Cajon Planning Commission in regard to the proposed CEQA exemption for The Broadway Banquet Hall, Conditional Use Permit No. 2020-0001.

Section 2. That based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES the CEQA exemption.

[The remainder of this page intentionally left blank.]

Proposed Planning Commission Resolution

PASSED AND ADOPTED by the El Cajon Planning Commission at a regular meeting held April 6, 2021, by the following vote:

AYES:

NOES:

ABSENT:

Paul CIRCO, Chair

ATTEST:

Melissa DEVINE, Secretary

PROPOSED PLANNING COMMISSION RESOLUTION

A RESOLUTION APPROVING CONDITIONAL USE PERMIT NO. 2020-0001 TO CONSTRUCT A NEW BAQNUET HALL WITH ON-SALE ALCOHOL SERVICE ON THE NORTH SIDE OF BROADWAY BETWEEN NORTH 1ST AND ORO STREETS IN THE GENERAL COMMERCIAL (C-G) ZONE, APN: 484-184-35, GENERAL PLAN DESIGNATION: GENERAL COMMERCIAL (GC)

WHEREAS, the El Cajon Planning Commission duly advertised and held a public hearing on April 6, 2021, to consider Conditional Use Permit (CUP) No. 2020-0001, as submitted by Hani Toma on behalf of Mar Toma LLC, requesting a new banquet hall with on-sale alcohol service in the General Commercial (C-G) zone, on the north side of Broadway between North 1st and Oro Streets, and addressed as 1120 Broadway, APN: 484-184-35; and

WHEREAS, the El Cajon Planning Commission approved the next resolution in order approving the California Environmental Quality Act (CEQA) section 15332 exemption; and

WHEREAS, at the public hearing the Planning Commission received evidence through public testimony and comment in the form of verbal and written communications, and reports prepared and presented to the Planning Commission, including (but not limited to) evidence such as the following:

- A. The General Commercial land use designation in the General Plan is intended to accommodate a full range of commercial uses including assembly uses. The proposed banquet hall would host cultural events and community events in a new modern facility that will upgrade the appearance of this area of Broadway with a clean building design, new landscaping, lighting, and paving improvements.
- B. The proposed banquet hall complies with all of the applicable land use and development standards of the C-G zone. The reduction in parking for the storage area will be mitigated through an event management plan that will identify additional overflow parking for large events. Conditions of approval will ensure that operations adhere to performance standards.
- C. The vicinity of the subject property is developed with commercial and residential uses. All activities will be conducted indoors. However, due to the proximity of residences, conditions of approval require a parking lot attendant for late evening events and an event management plans to address circulation and parking for large events. Furthermore, a six-month review of operations will be conducted to ensure continued compatibility.

- D. Impacts are not anticipated with the normal conduct of a banquet hall. If the establishment does become a nuisance, the city has performance standards for those impacts that are addressed through code enforcement actions when complaints are received. Furthermore, there are no identified existing problems in the project vicinity that may be exacerbated by on-sale service such as loitering, public drunkenness, noise, and littering. The establishment could face revocation if found to be out of compliance.
- E. The proposed banquet hall would provide a modern facility to host community events such as wedding receptions. This banquet facility would be the only new construction, modern facility in El Cajon. It is in the best interest of El Cajon residents to have a modern banquet facility to serve as a venue for celebratory events.
- F. The subject site is in an area of low to average crime and any ongoing issues in the community are not anticipated to be exacerbated by on-sale service at the banquet hall. Conditions of approval only allow for on-sale service in conjunction with food as part of an event within the building, which is not expected to result in neighborhood issues.
- G. Alcoholic beverages will be served to guests as part of private events hosted at the banquet hall. Service is not available to the general public, and, therefore, not anticipated to result in impacts to any nearby sensitive uses.
- H. The site is located within a census tract with low to average crime rate. The on-sale service of alcohol is not expected to result in an increase in criminal activity or calls for service. Furthermore, conditions of approval allow for reconsideration or revocation of the CUP if a problem arises.

NOW, THEREFORE, BE IT RESOLVED that based upon said findings of fact, the El Cajon Planning Commission hereby APPROVES CUP No. 2020-0001 for the banquet hall with on-sale service, subject to the following conditions:

- 1. Prior to the issuance of a building permit, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. A signed copy of the revised and approved site plan shall be included in each building permit set.
 - i) The revised site plan shall depict a 6-foot in height decorative masonry wall along the northern property line separating the proposed banquet hall from adjacent residential.

- ii) Add all required notes to the site plan.
- B. A Lighting Plan shall be approved pursuant to the requirements in El Cajon Municipal Code, section 17.130.150. The plan shall indicate lighting for pedestrian and vehicular safety that is sufficient to minimize security problems. Light shall not be cast as to create a nuisance for adjacent properties.
- C. Submit and obtain approval of a Landscape Documentation Package (LDP) pursuant to the requirements of El Cajon Municipal Code, Chapter 17.195. The LDP plans shall be consistent with the approved site plan and concept plan, and address any discrepancies with the Water Efficient Landscape Ordinance and other State codes (California Green Building Code).
- D. The site plan and building permit plans shall be consistent with the approved plans and elevations. The approved building material types and the colors of all exterior elevations shall be shown on construction drawings submitted for building permits and shall be in substantial conformance with the ones approved by the decision makers.
- E. Comply with Part 77 notification to the FAA for Gillespie Field. Provide a no hazard to air navigation determination by the FAA or complete self-certification.
- 2. A sign permit is required for freestanding, building face and wall mounted commercial signs. Commercial signs shall be professional, quality signage, consistent and compatible with the project design and architecture.
- 3. Construct a six-foot height masonry wall along the northern property line. The masonry wall may be required to include an access gate to the storm water channel per the City Engineer. All masonry walls will be of decorative finish and trimmed with a cap. Other fencing shall be wrought iron. Placement of vehicular gates must comply with ECMC section 17.130.225 and is subject to review and approval during the building permit process.
- 4. Prior to building permit final, or as otherwise determined by the Director of Community Development, the applicant shall complete the following:
 - A. Complete the installation of the approved landscaping and irrigation system and obtain approval of the Certificate of Competition.
 - B. Submit and receive approval of an event management plan to identify how parking for large events of over 500 individuals will be accommodated. The event management plan must identify overflow parking locations and safe paths of travel. This could include agreements with neighboring properties for use of the parking lots when businesses are closed or a shuttle to an off-site alternative parking location.
 - C. Satisfy all requirements contained in this resolution of approval.

5. A review by the Planning Commission will be conducted six months after commencement of operations to evaluate compliance with ongoing conditions of approval. A notice of the review will be sent to surrounding tenants and property owners.
6. The applicant shall comply with the conditions listed in the "Standard Conditions of Development" attached to this resolution.
7. 800 square feet of second floor storage area may not be converted to any other use without providing four additional parking spaces on site.
8. The following are ongoing operational conditions of approval for this CUP.
 - a. The use shall be operated in a manner that is compatible at all times with surrounding properties and uses.
 - b. Any change in use or expansion of the facility may require prior City approval, including an amendment to this conditional use permit.
 - c. The primary use of the property shall be that of a banquet hall.
 - d. The banquet hall shall maintain upkeep and ensure operating characteristics are compatible with, and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood.
 - e. The hours of the banquet hall are limited to 11:00 a.m. to 2:00 a.m. unless the Community Development and Police Departments approve revised hours.
 - f. Noise levels shall not exceed those for commercial zones as specified in El Cajon Municipal Code (ECMC) section 17.115.130.
 - g. Outdoor activities are not permitted in the parking lot. Any temporary outdoor use of the parking lot would require a Temporary Use Permit.
 - h. Loitering is not permitted within the parking lot. The operator shall advise guests as they enter and exit the facility.
 - i. All doors of the building shall be kept closed at all times except for entering and exiting.
 - j. For events lasting beyond 10 p.m., the operator shall post a staff person in the parking lot to ensure that guests entering and exiting in the parking lot do not cause a nuisance to surrounding properties.
 - k. Continue to implement the event management plan. Update the plan on file with the Community Development Department if changes are needed.
9. The following are ongoing conditions of approval for on-sale alcohol service.
 - a. The owners and all employees serving alcoholic beverages shall be required to be certified in Responsible Beverage Service training.
 - b. Alcohol service shall be provided only in conjunction with food service.
 - c. The establishment shall have signage indicating off-site alcohol sales are prohibited.
 - d. No alcohol shall be sold for off-site consumption.
 - e. Alcohol may only be consumed inside the building.
 - f. On-sale alcohol shall not result in adverse effects to the health, peace or safety of

- persons residing or working in the surrounding area.
- g. On-sale alcohol shall not jeopardize or endanger the public health or safety of persons residing or working in the surrounding area.
 - h. On-sale service shall not result in repeated nuisance activities within the premises or in close proximity of the premises, including but not limited to disturbance of the peace, illegal drug activity, public drunkenness, drinking in public, harassment of passersby, gambling, prostitution, sale of stolen goods, public urination, theft, assaults, batteries, acts of vandalism, littering, loitering, graffiti, illegal parking, excessive loud noises, especially in the late night or early morning hours, traffic violations, curfew violations, lewd conduct, or police detentions and arrests.
 - i. On-sale service shall comply with all provisions of local, state or federal laws, regulations or orders, including but not limited to those of the Alcoholic Beverage Control Act, California Business and Professions Code sections 24200, 24200.6, and 25612.5, as well as any condition imposed on any permits issued pursuant to applicable laws, regulations or orders. This includes compliance with annual city business license fees.
10. Obtain building permits and comply with currently adopted edition of the California Building Code, California Fire Code, California Mechanical Code, California Plumbing Code, California Electrical Code, and Green Building Standard Code.
11. Fire alarm, underground fire service, fire sprinklers, fixed fire protections systems and emergency responder radio communications systems (if required based on approved testing) are required to be deferred submittals.
12. Add the following notes to the Site Plan for CUP-2020-0001 and implement the Best Management Practices as a condition of the CUP:
- "All operations shall comply with the City's Jurisdictional Runoff Management Program (JRMP) and the City's Storm Water Ordinance (Municipal Code Chapters 13.10 and 16.60) to minimize or eliminate discharges of pollutants to the storm drain system. Operations shall include implementation of food services Best Management Practices (BMPs) as follows:*
- a. Only rain is permitted to enter the storm drain system. Discharges (direct or by conveyance) of trash, debris, vehicle fluids, or wastewater (including washing fluids) to the storm drain system are strictly prohibited.*
 - b. A grease interceptor shall be installed and a waste grease disposal bin utilized at the facility. The grease disposal bin shall be stored inside a covered trash enclosure or another properly contained and covered area where it will not be potentially exposed to urban runoff.*
 - c. All existing food grinders (disposals) shall be removed from use at the food service establishment and no new food grinders shall be installed in compliance with Municipal Code section 13.38.040.*

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- d. Sweep or vacuum to clean outdoor areas (trash enclosures, sidewalks and parking lots). Power washing and the washing of floor mats in outdoor areas is strictly prohibited.*
- e. Maintain parking area to be free from trash and petroleum leaks.*
- f. Provide sufficient trash receptacles.*
- g. Dispose of wastes properly.*
- h. All dumpsters used by this project shall have lockable lids. All lids on all dumpsters shall remain closed while dumpster is not directly in use and locked after business hours. All dumpsters shall be properly stored inside of a building or in a covered trash enclosure.*
- i. All trash enclosures must be secured, covered with an impervious roof, and constructed with a grade-break across the entire entrance in accordance with the requirements of the City of El Cajon 'Attachment 2 Trash Enclosure'. The design of the enclosure should accommodate a recycling grease bin if one will be used and stored outdoors.*
- j. Provide spill response kits for grease spills. The spill response kit must be available and quickly accessible to employees. Signage must be posted to clearly denote the location of the kit.*
- k. All materials, including vehicle fluids, must be stored in a properly covered and contained area that will not be exposed to rainwater, either directly or indirectly.*
- l. All storm water runoff treatment control mechanisms (catch basins, Low Impact Development (LID) and Priority Development BMPs) employed in the parking lots used by the business shall be maintained to be in good working order and replaced as necessary. See manufacturer's recommendations for maintenance and replacement.*
- m. All "No Dumping" signage shall be maintained to be legible and replaced as necessary. A template for painting the concrete or asphalt around inlets and catch basins can be provided by the City upon request.*

For Public Works requirements on this Planning Action please refer to the Conditions of Approval. This Site Plan may not clearly show existing or proposed improvements in the public right-of-way and should not be used for public improvement construction purposes."

13. In accordance with the City of El Cajon Municipal Code Chapter 16.60, this project falls into a priority development project (PDP) category and is subject to the Standard Urban Storm Water Mitigation Plan (SUSMP) requirements. To fulfill SUSMP requirements, a Storm Water Mitigation Plan (SWMitP) needs to be prepared by a Registered Civil Engineer in the State of California. Amongst other things, the SWMitP shall include the following:

- a. Incorporation of New Development Best Management Practices (BMPs). Please refer to the City of El Cajon BMP Design Manual. Use the BMP Design Manual and BMP calculator to help design and size proposed BMPs (available on City's website).*

- b. Runoff calculations for water quality. A specific volume or flow of storm water runoff must be captured and treated with an approved (series of) storm water treatment control device(s); the BMP design size is calculated using either: a) the 85th percentile hourly precipitation (San Diego County 85th Percentile Isopluvials) for volume based BMPs, or b) using a rain fall intensity of 0.2 inches per hour (Limited Hydrology Study, available on City's website) for flow based BMPs.
- c. Runoff calculations for water quantity in compliance with the approved Hydromodification Management Plan (HMP) requirements. Calculate pre- and post-construction peak flow runoff rates (calculated to the nearest 0.1 CFS using % imperviousness). The post-construction flows must not exceed the pre-construction flows.
- d. Incorporation of Low Impact Development (LID) BMPs for compliance with the California Regional Water Quality Control Board (San Diego Region) Order No. R9-2013-0001 as amended, or a subsequent updated Order.
- e. LID BMPs must be included as a separate section of the SWMitP. The LID section must include a comprehensive review and consideration of LID BMPs and a determination of feasibility and practicality for all mandatory LID BMPs. The LID section must include implementation of Source Control BMPs, Treatment Control BMPs and other LID BMPs where practical and feasible. Please refer to the BMP Design Manual for design support.
- f. A Storm Water Maintenance and Operations Plan in accordance with Storm Water "OPS and MAINT SAMPLE 2-01-18" to ensure perpetual maintenance of BMPs (Available on City's website).
- g. Landscaping Plans that comply with SUSMP requirements (submitted to the Planning Group).
- h. Details of any proposed and existing trash enclosures. Any and all enclosures must be designed to be secured, constructed with a grade-break across the entire enclosure entrance, and covered with an impervious, fire-resistant roof in accordance with the requirements of Storm Water 'Attachment No. 2 Trash Enclosure' (Available on City's website). The design of the enclosure should accommodate a recycling grease bin if one will be used and stored outdoors.

Note: All required documents are available on the City's Website at: <https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-137>

- 14. The plans shall show that all new driveways and other impervious areas will drain to sufficiently sized and designed landscaped areas so as to incorporate Low Impact Development (LID) BMPs for compliance with the California Regional Water Quality Control Board (San Diego Region) Order No. R9-2013-0001 as amended, or a subsequent updated Order.

15. LID BMP details must be included as a separate section of the Building Permit Plan Set. The project must include a comprehensive review and consideration of LID BMPs and a determination of feasibility and practicality for all mandatory LID BMPs. The LID section must include implementation of Source Control BMPs, Treatment Control BMPs and other LID BMPs where practical and feasible. Incorporate all cross sections of proposed BMPs on the site plan.
 16. Submit a signed and executed Storm Water Facilities Maintenance Agreement with Easement and Covenants. (Sample Storm Water Facilities Maintenance Agreement is available on the City's website).
 17. Submit copies of the Notice of Intent (NOI) and Storm Water Pollution Prevention Plan (SWPPP) from the California Regional Water Quality Control Board.
 18. Show any storm drain conveyances, such as channels, inlets and catch basins that are onsite and directly offsite. Implement proper "No Dumping" signage at any storm drain inlets and catch basins on the property and along the Broadway Creek channel fencing at no greater than fifty (50) foot intervals. Fence signs shall be permanently attached and made of metal. Signs shall be at least six (6) inches by nine (9) inches with rounded corners (examples may be obtained from Engineering staff). A template (40" x 9") for painting the concrete or asphalt around inlets and catch basins can be provided by the City upon request.
 19. In accordance with the City's lot grading ordinance, no grading or soil disturbance, including clearing of vegetative matter and demolition activities, shall be done until all necessary environmental clearances are secured and an Erosion Control Plan (ECP) has been reviewed and approved by Engineering and Storm Water staff. The ECP shall control sediment and pollution and be in compliance with the City's 2015 Jurisdictional Runoff Management Plan (JRMP). The plan should show measures to ensure that pollutants and runoff from the development are reduced to the maximum extent practicable.
- NOTE: FAILURE TO COMPLY WITH OR IMPLEMENT STORM WATER CUP CONDITIONS IS CONSIDERED A VIOLATION OF THE CITY'S JRMP AND MAY RESULT IN A CITATION WITH MONETARY FINES, CRIMINAL CHARGES, AND/OR REVOCATION OF PERMIT.
20. The driveway(s) on Broadway shall be in accordance with San Diego Regional Standard Drawings G-26. Edge of driveways shall be a minimum of 3-feet from the property line and all obstructions. The driveway shall be a minimum 24'/36/ curb cut. Existing curb height is eight (8)-inches. Install 8-inch to 6-inch curb height transitions at both driveways. Repair all damaged concrete curb, gutter, and sidewalk pursuant to El Cajon City Standards.

21. Prior to issuance of Building Permit and Encroachment Permit, the applicant or contractor shall prepare a detailed scaled drawing with dimensions of the proposed driveway and sidewalk installation showing the location of the public street right-of-way, property lines, face of curb, all physical obstructions, including but not limited to, utility poles, telephone and cable TV equipment, fencing, etc. along with any required offsets in accordance with San Diego Regional Standard Drawings (SDRSD) G-15 and G-16.
22. All runoff from the project site must be treated. Runoff shall not leave the project through the proposed driveways. All project runoff must be captured and treated prior to discharge.
23. Property owners are responsible for the maintenance and repair of their entire private sewer lateral, which extends from the building to the public sewer main pursuant to El Cajon Municipal Code (ECMC) section 13.37.020.
24. Conduct a video inspection of the existing sewer lateral pursuant to ECMC section 13.37.040, and submit the inspection report to the City for review. The sewer lateral video must clearly show the entire length of the private sewer lateral from at least the building to the connection with the City sewer main.
25. The ^[BL1] plumbing contractor must submit a copy of the inspection (DVD or USB) and the completed 3-page inspection report that the City will retain permanently; the report form is available on-line at: <https://www.cityofelcajon.us/Home/ShowDocument?id=11675>. The plumber is required to fill out the form completely and also verify that no outside surface drain or downspouts are illicitly connected to the sewer system. Incomplete reports and or videos without a report submitted will be noted as incomplete and a completed report will be required.
26. The project shall use the existing sewer laterals. If a repair or new sewer lateral is required, the Building Permit plans must include the location, length, and description of the proposed repairs. Additionally, the installation of a double cleanout will be required at the property line in accordance with ECMC section 13.20.060. If you would like a copy of the Double Cleanout Detail, you can email the sewer lateral coordinator to request one.
27. Wastewater generated from the proposed project has potential to exceed the downstream wastewater capacity in Broadway. The City's Wastewater Master Plan estimates that the sewer main capacity in Broadway will incur a capacity deficiency from development in 2020. The Developers of this project will be required to prepare a wastewater study using the provided data from the City's calibrated dynamic flow model to examine the combined flow from this development and the existing conditions within the sewer mains in an effort to measure the project's wastewater impacts. The proportional increased flow resulting from the project will be used to calculate any potential proportional cost attributed to the project. Based on the study,

the City will identify any necessary mitigation requirements to upgrade the downstream sewer system to expand sewer capacity.

28. Close all unused existing driveways and replace with full height curb and gutter, and PCC sidewalk pursuant to City Standards.
29. Stub any new underground utility services out at the property line.
30. Submit a preliminary soils report prepared by a Civil or Geotechnical Engineer registered in the state of California, along with adequate test borings.
31. Submit a Drainage Study and a Grading and Drainage Plan along with an Erosion Control Plan prepared by a Civil Engineer, registered in the State of California. No grading or soil disturbance, including clearing of vegetative matter, shall be done until all necessary environmental clearances are secured and the Grading and Drainage Plan and Erosion Control Plan have been reviewed by the City.
32. These Plans shall be based on the preliminary soils report and in conformance with the City of El Cajon Jurisdictional Runoff Management Program (JRMP) and Standard Urban Storm Water Mitigation Plan Ordinance (SUSMP) which require additional water quality management measures and future ongoing maintenance even after completion of the project to prevent, treat, or limit the amount of storm water runoff and pollution from the property.
33. The Drainage Study shall include all related tributary areas and adequately address the impacts to the surrounding properties and to the City drainage system. The developer shall provide any needed public and private drainage facilities, including off site drainage facilities (as determined by the study). If public drainage facilities are required, the required improvements need to be included in improvement plans, prepared by a Civil Engineer, registered in the State of California, and submitted to the City for approval. Note: If the Drainage Study indicates the existing downstream drainage system is inadequate for the proposed density of the project, a reduction in density and/or hard surface coverage of the project may be required.

For Engineering and Storm Water Documents please go to: Engineering Documents available from the City's Website, Documents and Forms Library:

<https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-222>

Storm Water Documents available from the City's Website, Documents and Forms Library: <https://www.cityofelcajon.us/i-want-to/view/documents-forms-library/-folder-137>

34. The Planning Commission may at any time during the life of this use permit, after holding a new public hearing and considering testimony as to the operation of the

Proposed Planning Commission Resolution

approved use, add additional conditions as it deems necessary, to ensure that the approved use continues to be compatible with surrounding properties and continues to be operated in a manner that is in the best interest of public convenience and necessity and will not be contrary to the public health, safety or welfare.

35. The existence of this CUP shall be recorded with the County Recorder.
36. The proposed use shall be operated substantially as presented in the Planning Commission staff report titled CUP No. 2020-0001, dated April 6, 2021, except as modified by this resolution. Operation of the use in violation of the conditions of approval is grounds for revocation.
37. If all conditions of approval have not been satisfied or if the uses approved by this CUP have not been commenced, and if no request for an extension of time has been received, within two (2) years of the approval Planning Commission or by April 6, 2023, and subsequently approved, this CUP shall be considered null and void in accordance with El Cajon Zoning Code section 17.35.010.

PASSED AND ADOPTED by the El Cajon City Planning Commission at a regular meeting held April 6, 2021, by the following vote:

Proposed Planning Commission Resolution

AYES:
NOES:
ABSENT:

Paul Circo, Chair

ATTEST:

Melissa DEVINE, Secretary

Aerial Image
1120 Broadway



Subject ite



Project Assistance Center
PLANNING PERMIT APPLICATION

Type of Planning Permit(s) Requested:

<input type="checkbox"/> AZP Administrative Zoning Permit	<input checked="" type="checkbox"/> CUP Conditional Use Permit	<input type="checkbox"/> LLA Lot Line Adjustment	<input type="checkbox"/> MA Minor Amendment
<input type="checkbox"/> MUP Minor Use Permit	<input type="checkbox"/> PRD Planned Residential Development	<input type="checkbox"/> PUD Planned Unit Development	<input type="checkbox"/> SDP Site Development Plan Permit
<input type="checkbox"/> SP Specific Plan	<input type="checkbox"/> SCR Substantial Conformance Review	<input type="checkbox"/> TPM Tentative Parcel Map	<input type="checkbox"/> TSM Tentative Subdivision Map
<input type="checkbox"/> VAR Variance	<input type="checkbox"/> ZR Zone Reclassification	<input type="checkbox"/> Other: _____	

Project Location

Parcel Number (APN): 484-184-35-00

Address: 1120 Broadway

Nearest Intersection: First Street

Project Description (or attach separate narrative)

Two-Story banquet facility with surface parking lot.

Project Screening Questions

Existing use?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	If yes, please describe: <u>truck leasing lot - vacant</u>
Modification of use?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>truck leasing lot to banquet facility</u>
New development or addition?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	<u>New Banquet Building</u>
Existing Structures?	<input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes	Age of the structures: <u>Unknown</u>

Demolition or substantial
modification proposed to site
improvements or structures? ☐ No ☒ Yes
Tenant improvements proposed? ☐ No ☒ Yes
Existing vegetation or trees on site
proposed for removal? ☐ No ☒ Yes
Proposed grading? ☐ No ☒ Yes

Remove building and
paving.

Banquet facilities.

Do not meet city standards

Proposed quantities of cut and/or fill.
cut: 44 yds³ / fill: 833 yds³

Applicant Information (the individual or entity proposing to carry out the project; not for consultants)

Company Name: Mar Toma LLC
Contact Name: Mr. Hani Toma
Mailing Address: 1120 Broadway
Phone: 619.466.0000 Email: ice966@yahoo.com
Interest in Property: ☒ Own ☐ Lease ☐ Option

Project Representative Information (if different than applicant; consultant information here)

Company Name: Gene Cipparone-Architect, Inc.
Contact Name: Gene Cipparone License: C-011226
Mailing Address: PO Box 602 Poway, CA 92074
Phone: 858.354.0071 Email: gene@cipparone.com

Property Owner Information (if different than applicant)

Company Name: Mar Toma LLC
Contact Name: Mr. Hani Toma
Mailing Address: 1120 Broadway
Phone: 619.466.0000 Email: 1ce966@yahoo.com

Hazardous Waste and Substances Statement

Section 65962.5(f) of the State of California Government Code requires that before the City of El Cajon accepts as complete an application for any discretionary project, the applicant submit a signed statement indicating whether or not the project site is identified on the State of California Hazardous Waste and Substances Sites List. This list identifies known sites that have been subject to releases of hazardous

chemicals, and is available at <http://www.calepa.ca.gov/sitecleanup/corteselist/>. Check the appropriate box and if applicable, provide the necessary information:

The development project and any alternatives proposed in this application:

☒ is/are NOT contained on the lists compiled pursuant to Government Code Section 65962.5.

☐ is/are contained on the lists compiled pursuant to Government Code Section 65962.5.

If yes, provide Regulatory Identification Number: _____ Date of List: _____

Authorization

Applicant Signature¹:

Date: 3-17-21

Property Owner
Signature²:

Date: 3-17-21

1. **Applicant's Signature:** I certify that I have read this application and state that the above information is correct, and that I am the property owner, authorized agent of the property owner, or other person having a legal right, interest, or entitlement to the use of the property that is the subject of this application. I understand that the applicant is responsible for knowing and complying with the governing policies and regulations applicable to the proposed development or permit. The City is not liable for any damages or loss resulting from the actual or alleged failure to inform the applicant of any applicable laws or regulations, including before or during final inspections. City approval of a permit application, including all related plans and documents, is not a grant of approval to violate any applicable policy or regulation, nor does it constitute a waiver by the City to pursue any remedy, which may be available to enforce and correct violations of the applicable policies and regulations. I authorize representatives of the City to enter the subject property for inspection purposes.
2. **Property Owner's Signature:** If not the same as the applicant, property owner must also sign. A signed, expressed letter of consent to this application may be provided separately instead of signing this application form. By signing, property owner acknowledges and consents to all authorizations, requirements, conditions and notices described in this application. Notice of Restriction: property owner further acknowledges and consents to a Notice of Restriction being recorded on the title to their property related to approval of the requested permit. A Notice of Restriction runs with the land and binds any successors in interest.

Pre-application Conference

The purpose of a pre-application conference is to provide you an opportunity to review your project with City staff in a preliminary form to finalize submittal requirements and receive a cursory identification of potential issues. **A pre-application is required unless waived by staff.**

Conference date: July 19, 2019

Application Submittal

To submit your application, **it must be done by appointment** scheduled in advance for all Level 3, 4, & 5 project reviews, unless waived by staff. It is recommended for projects that will subsequently meet the criteria for a Level 1-C review through Level 2.

Appointment date: February 13, 2020



Disclosure Statement

This statement is intended to identify and avoid potential conflicts of interest that may exist between the project proponents and the decision makers; including City staff, Planning Commissioners, and City Council members.

The following information must be disclosed:

1. List the names and addresses of all persons having a financial interest in the application.

HANI TOMA

List the names and address of all persons having any ownership interest in the property involved.

HANI TOMA

2. If any person identified pursuant to (1) above is a corporation or partnership, list the names and addresses of all individuals owning more than 10% of the shares in the corporation or owning any partnership interest in the partnership.

HANI TOMA


3. If any person identified pursuant to (1) above is a trust, list the name and address of any person serving as trustee or beneficiary or trustor of the trust.

HANI TOMA

4. Have you or your agents transacted more than \$500.00 worth of business with any member of City staff, Boards, Commissions, Committees and Council within the past 12 months or \$1,000.00 with the spouse of any such person? Yes _____ No X

If yes, please indicate person(s), dates, and amounts of such transactions or gifts.

"Person" is defined as "Any individual, proprietorship, firm, partnership, joint venture, syndicate, business trust, company, corporation, association, committee, and any other organization or group of persons acting in concert." Gov't Code §82047.


3-17-21

Signature of applicant / date

HANI TOMA

Print or type name of applicant

NOTE: Attach appropriate names on additional pages as necessary.



1120 Broadway

PROPOSED BANQUET FACILITY

It is the intent of the property owner to build a two-story masonry structure to create a banquet facility that can address the needs of the community for an upscale location that can handle small to large events. The facility will be able to accommodate two events occurring at one time and provide a full-service dining from the new commercial kitchen.

Of course, it can also handle one large event in the banquet room as well. As indicated on the Site Plan sheet in the Information Boxes on the right side, the maximum number of attendees we can have, based on Occupancy Standards as established for this type of use in the California Building Code 2019 Edition will be 1,000. The facility will have a foldable acoustic door that can be used to create two separate events. However, the maximum would remain the same divided upon the size of each side of the folding door. One hall is larger than the other with a ratio of 60:40 to accommodate events of all sizes.

The facility will be in the rear of the property set to the east in a portion of the property that is behind structures that front Broadway. It will not be readily visible from Broadway except when approaching from the west on and looking at the empty, landscaped parking lot to the north.

Beyond our property to the north is the city storm drainage channel separating our facility from the residential property on the other side. That property is within County jurisdiction.

The first floor will contain the large banquet room as well as a commercial kitchen and the required restrooms for the occupants. The second floor which will sit over the kitchen and restroom components, will house storage rooms for tables, chairs, linens, serving tables, cocktail tables, etc. as well as a secured room for liquor, beer, and wine storage.

The second floor will be accessed by stair (exterior only) as well as a large freight elevator that will be finished to look like a passenger elevator. The second floor will also house storage rooms for equipment; tables/chairs; linens; flatwork, etc.

The mechanical components to heat and cool the facility will be placed on the roof over the second-floor element. They will be screened from view by a metal panel system whose finish will match that of the aluminum wall and door systems as well as wall top covers and will integrate with the metal wall panels over each entry canopy.

The project will be serviced with surface parking separated by landscaped islands with access only from Broadway.

Trash will be enclosed in a masonry, roofed structure in the NE corner of the property with easy access off Broadway for pickup.

The Broadway appearance of the project will include ten feet of landscaping as required by ordinance and we look to either install a wrought iron or masonry fence/wall with rolling gates to secure the property when not in use. This will keep random cars/trucks from using the parking lot when not in use. The gate/access will be remotely controlled and monitored from pole-mounted security cameras.

The ownership will secure a liquor license ABC-58 to serve beer-wine-distilled spirits on-site only during events. This is also indicated on the Site Plan sheet in the Information Boxes on the right side of the sheet.

GENE CIPPARONE ARCHITECT, INC. □ ARCHITECTURE●PLANNING●INTERIOR DESIGN

PO Box 602 □ Poway, CA □ 92074-0600

□ E-mail: gene@cipparone.com □ voice: 858 354 0071



The ownership will look to secure a second permit to possibly use the facility during the day to serve as an adult daycare Facility that would also cater breakfast and lunch if required. No alcoholic beverages will be sold/distributed if approved. We understand that that is a separate submittal.

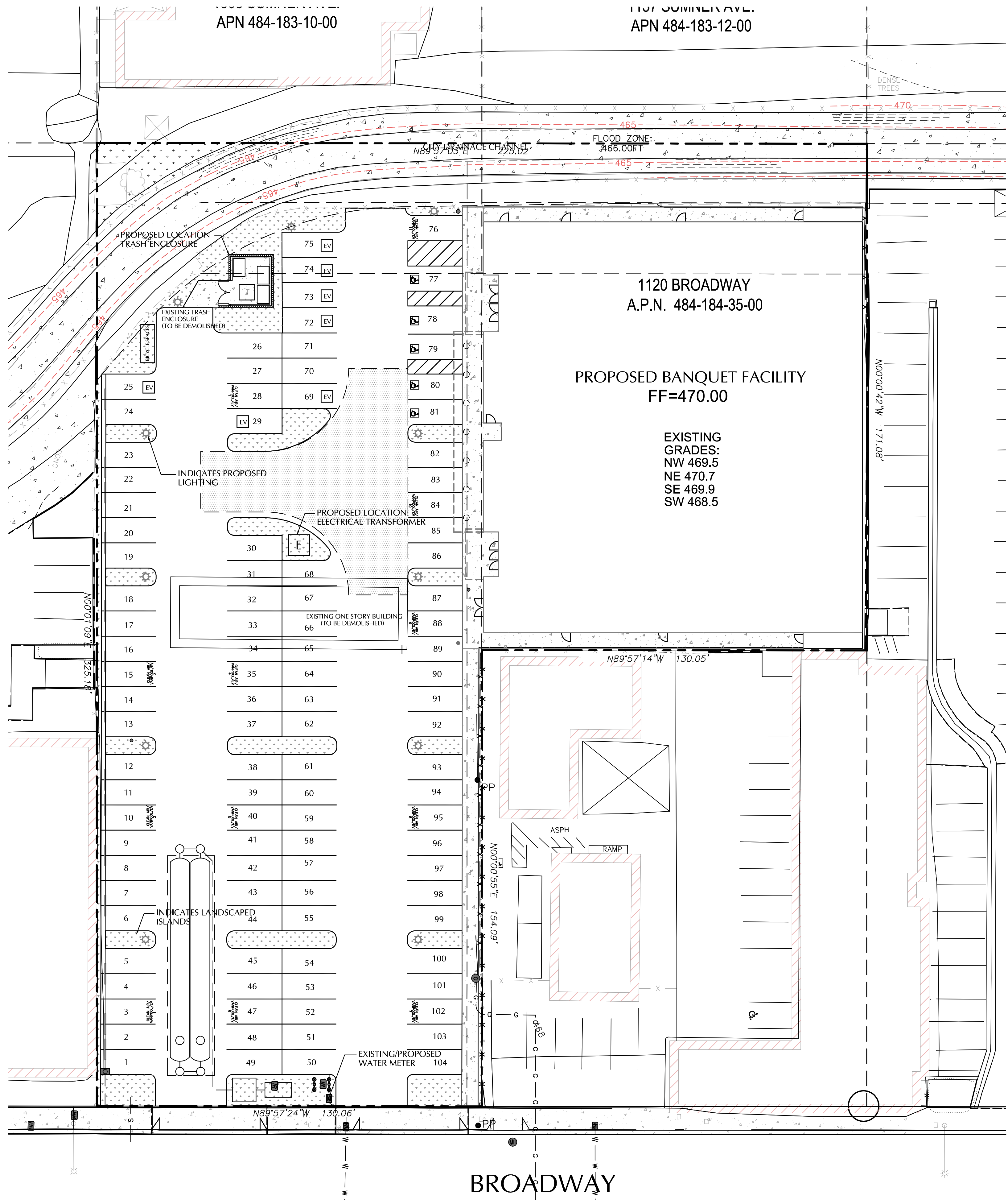
Regarding hours of operations, we are aware that we will be able to entertain a variety of events at the facility. Those include birthdays, anniversaries, weddings, meetings, etc. Therefore, we will need to have flexible hours to hold these events. We will be available seven (7) days a week. We will look to open at 11:00 am daily and close at 2:00 am nightly to hold these many types of events.

With regards to ensure the facility meets the acoustic/noise standards established by the City, we will construct the walls of the facility with an approved wall assembly, nationally tested that will provide/exceed the standards established by the City. All exterior and interior doors accessing the Lobbies, and banquet rooms will be outfitted with automatic closers to keep the sound from escaping the facility at all times. Doors that open directly to the exterior are mostly exit doors or operational doors that will not be used during any event. Doors facing west (parking lot) and residential further to the west are recessed and will have closers as mentioned earlier. The Lobbies become 'sound traps' keeping most noise behind the inner banquet room doors. The roof will be provided with insulation to reduce sound escaping but the roof will have no opening except for mechanical and they will be over the second floor area and not the banquet space. This will keep any noise from escaping directly up through the roof. Also, the ceiling of the banquet room will be constructed of gypsum board further trapping noise in the room below. In the event noise does escape, there is a large void between the ceiling and the roof where noise will go to die as there are no roof openings in that area as mentioned earlier.

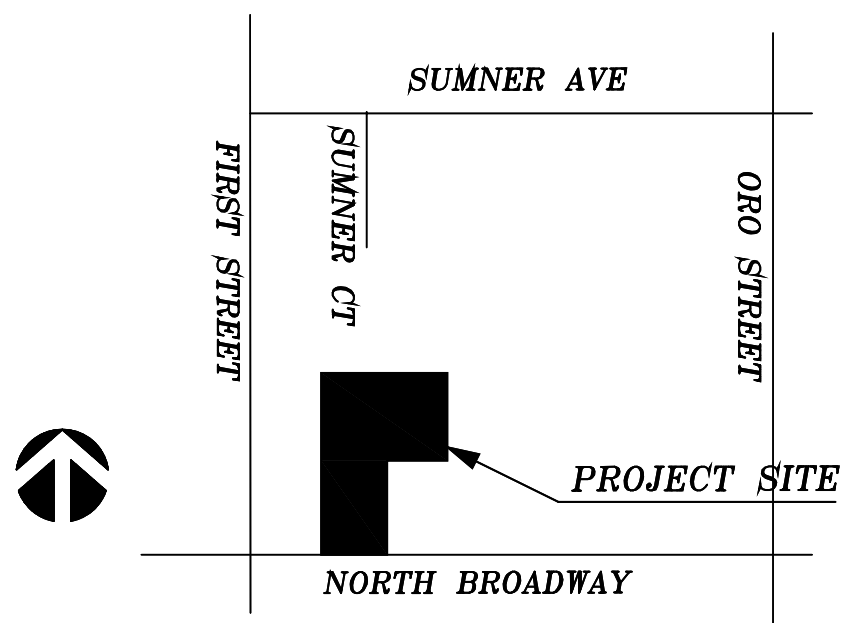
GENE CIPPARONE ARCHITECT, INC. ☐ ARCHITECTURE ☒ PLANNING ☒ INTERIOR DESIGN

PO Box 602 ☐ Poway, CA ☐ 92074-0600

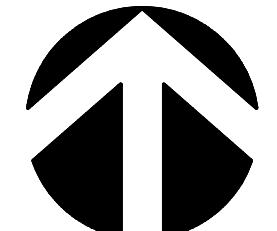
☐ E-mail: gene@cipparone.com ☐ voice: 858 354 0071



VICINITY MAP



SITE PLAN



SCALE: 1" = 20'-0"

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License for Sale of Beer-Wine-Spirits
In consultation with the local ABC office in San Diego, ownership will apply/obtain an ABC-58 license for this facility.
Ownership will obtain their own license for this facility/building.

Hours of Operation:
Facility will be available seven days a week.
Earliest opening would be: 11:00 am
Latest closing would be: 2:00 am
Largest Party Attendance:
Using all the attendees areas on the first floor including the restrooms, we have an area of approximately 15,000 sf. Per Building Code of 1/15 sf we could have an event with a maximum of 1,000 attendees.

Deferred Submittals:
At a minimum, fire alarm, underground fire service, fire sprinklers, emergency responder radio communications (if required will be submitted to the city as required for approval prior to the installation.

- Legend**
- 45 Parking Stall Number
 - Landscaping Island/Areas
 - Proposed Light Standard
 - Proposed Transformer
 - Proposed Trash Enclosure
 - Concrete Walkways
 - Bicycle Parking
 - Area of Channel/Fence
 - Path to Trash Enclosure
 - Electric Vehicle Parking

Scope of Work:
Construction of a two story Banquet Hall facility on a 1.48 acre property located at 1120 North Broadway.
California Green Standards
Non-Residential Sections:
Project to meet all relevant sections as pertains to this use and its features.
This is a single use facility with no tenants.
Assessor Parcel No.:
484-184-35-00
Construction Type:
Type II-B(2019 CRBC)
Fire Sprinklers:
Yes
Occupancy Classification:
A-2
Building Code:
2019 CBC
Zoning or Overlay Zone:
C-G (Commercial - General)
Setbacks:
Front: 10 feet
Street Side Yard: 0 feet
Interior Side Yards: 0 feet
Rear Yard: 0 feet
Number of Stories:
Two (2)
Maximum Height of Building:
35 Feet (City Limit)
Construction Type Existing:
Type V-B
Occupancy Classification Existing:
B
Existing Building Size:
2,050 sf One Story

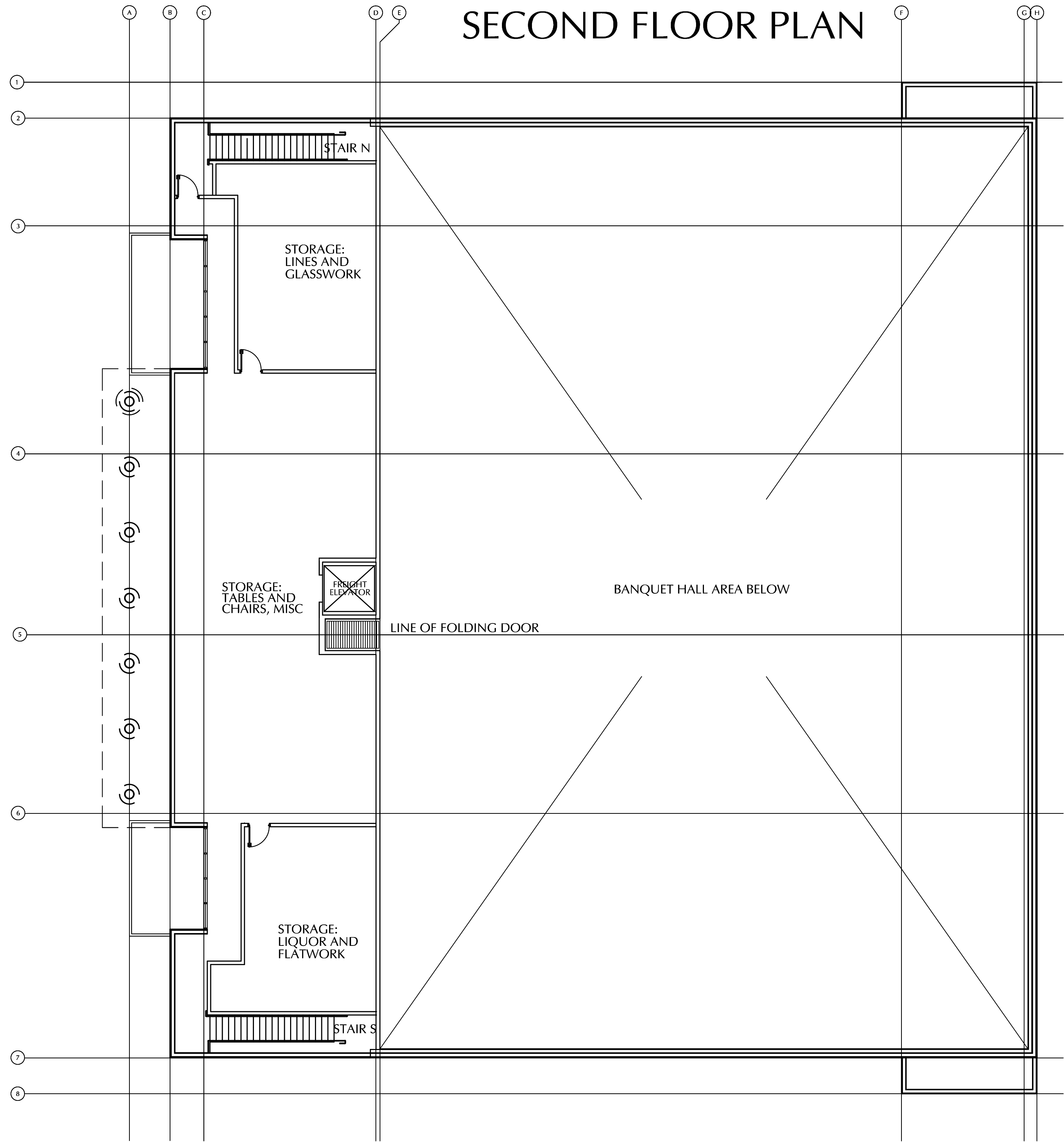
Project Size Data:
Lot Area Gross:
64,469 sf Gross (1.48 Acres)
Drainage Channel:
6,938 sf Gross (0.16 Acres)
Lot Area Usable:
57,531 sf Usable (1.32 Acres)
Lot Coverage:
17,805 sf (21.6% on Gross Lot Area)
17,805 sf (30.9% on Usable Lot Area)
Landscape Area - Parking Lot:
Parking Lot Area: 34,271 sf
Landscape Area: 10 sf/Space
10 sf x 104 Spaces = 1,040 sf Required
Landscape Area: 2,973 sf Provided
Landscape Area - Setback Area:
773 sf Provided
Gross Building Area:
17,805 sf (First Floor)
3,778 sf (Second Floor)
21,583 sf (Total)
Gross Floor Area:
17,805 sf (First Floor)
Parking (Required):
Banquet Facility (First Floor):
17,805 sf/200 sf = 89 Spaces
Storage (Second Floor):
3,778 sf/200 sf = 19 Spaces
<800 sf/200 sf = 4 Spaces: 15 Spaces
Total Parking (Required):
Total: 104
Parking (Provided):
Total: 104 On Site
Green Building Standards:
Short Term Bicycle: 1 rack for 2 bikes
Long Term Bicycle: N/A
Clean Air Vehicles: 11 Required
Electric Vehicle Stalls: 7 Required
City of El Cajon - Bicycle Standards:
10% of Required Parking = 10

CITY OF EL CAJON

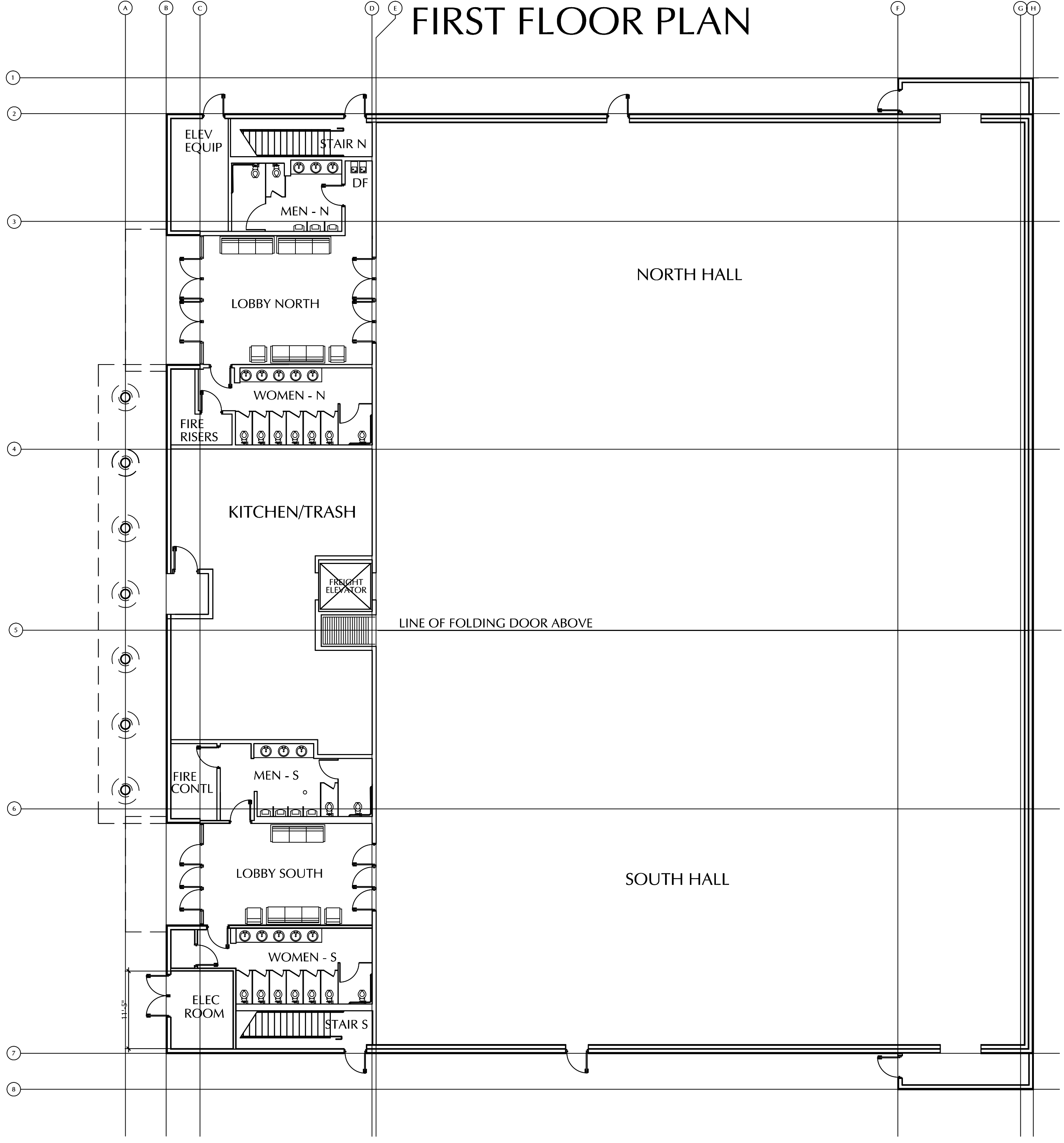
PERMIT NO. _____

APPLICANT: MR. HANI TOMA
ASSESSOR PARCEL NO(S): 484-184-31-00
REQUEST: CONDITION USE PERMIT FOR BANQUET HALL FACILITY
PC RESOLUTION No. _____ APPROVED BY: _____
CC RESOLUTION No. _____
ORDINANCE No. _____ DATE: _____

SEE CIVIL ENGINEERING GRADING PLAN FOR THE LOCATION OF EASEMENTS AS DEFINED ON THE TITLE REPORT



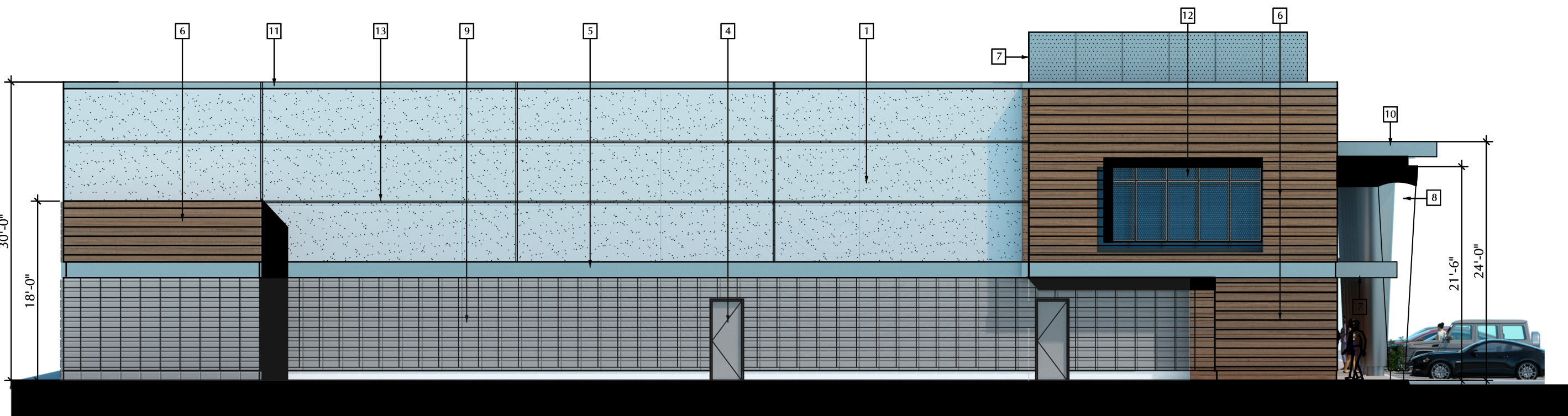
SECOND FLOOR PLAN
SCALE: 3/32" = 1'-0"



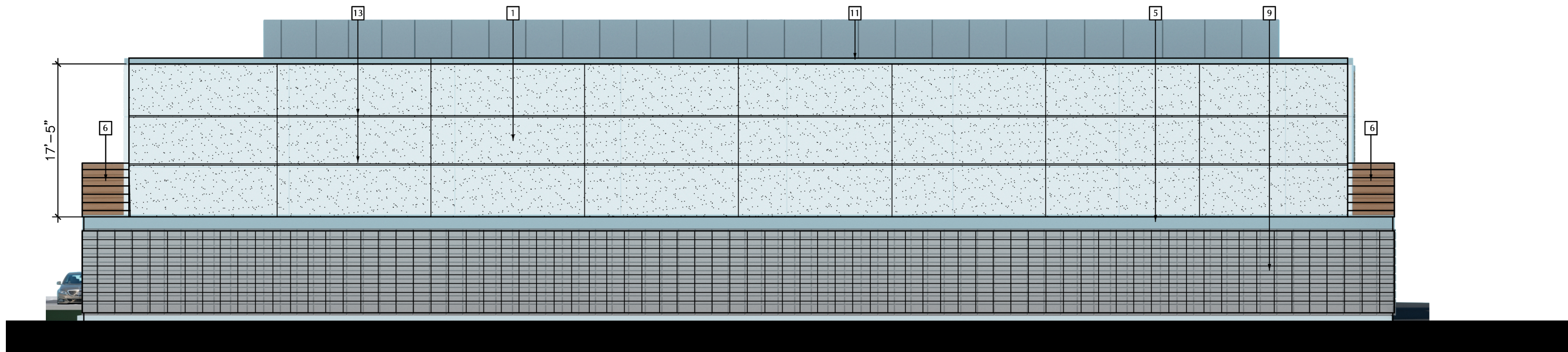
FIRST FLOOR PLAN
SCALE: 3/32" = 1'-0"

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PO BOX 602, POWAY, CALIFORNIA 92074
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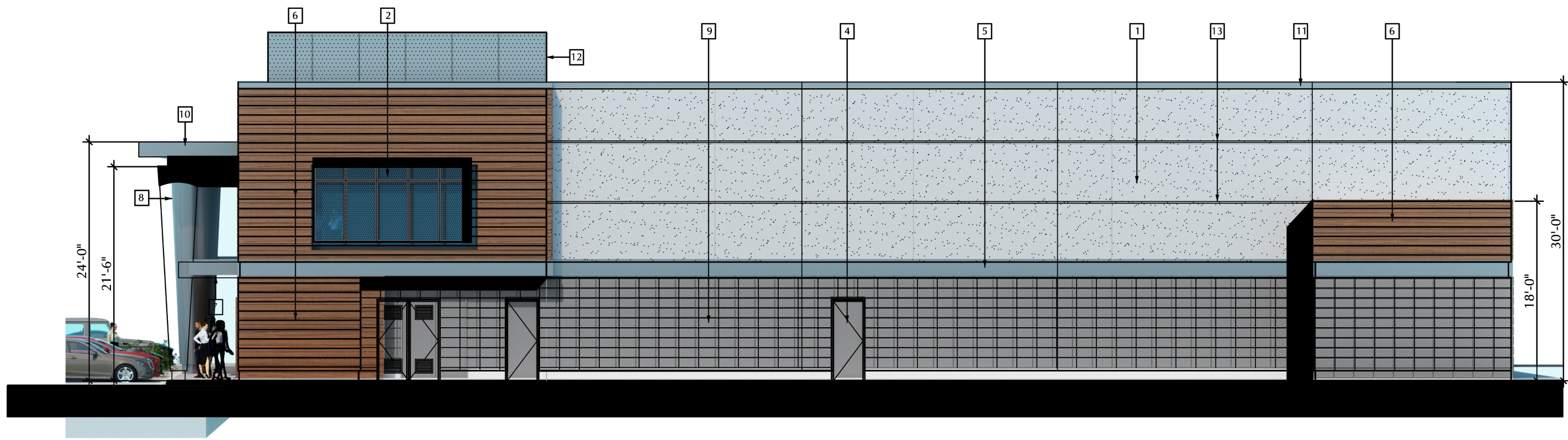
CITY OF EL CAJON	
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APPLICANT: MR. HANI TOMA	
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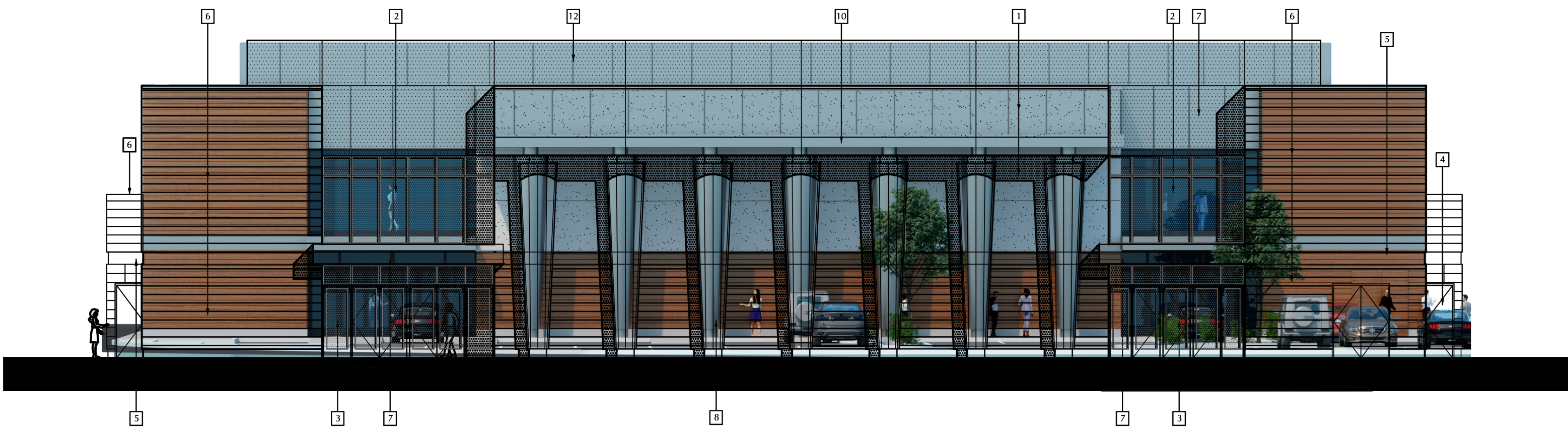
NORTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



WEST ELEVATION
SCALE: 3/32" = 1'-0"

ELEVATION LEGEND	
1	EXTERIOR CEMENT STUCCO WITH LIGHT TEXTURE FINISH. EXPO STUCCO COLOR: 830 CLAY
2	STOREFRONT GLAZING
3	STOREFRONT DOORS - CLEAR ANODIZED
4	HOLLOW METAL DOORS, PAINT TO MATCH ADJACENT MATERIAL COLOR
5	ALUMINUM METAL BAND
6	METAL PANEL CLADDING - ACCENT - FACTORY FINISH IMARK ALURA - WOODGRAIN METAL: ESPRESSO
7	ALUMINUM CLAD ENTRY AWNING
8	TAPERED COLUMNS - ALUMINUM CLADDING
9	LARGE FORMAT TILE, DAL TILE XTERTIOR PROGRAM AMBASSADOR JET SETTER DUSK AM34, 12X24 MIN.
10	ALUMINUM CLAD AWNING
11	ALUMINUM CAP FLASHING
12	METAL PANEL CLADDING - FIELD - FACTORY FINISH MRCI 7.2 PANEL. COLOR: CHARCOAL GRAY FINISH SURFACE TO BE SMOOTH
13	FRY ALUMINUM REGLETS

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CITY OF EL CAJON

PERMIT NO. _____

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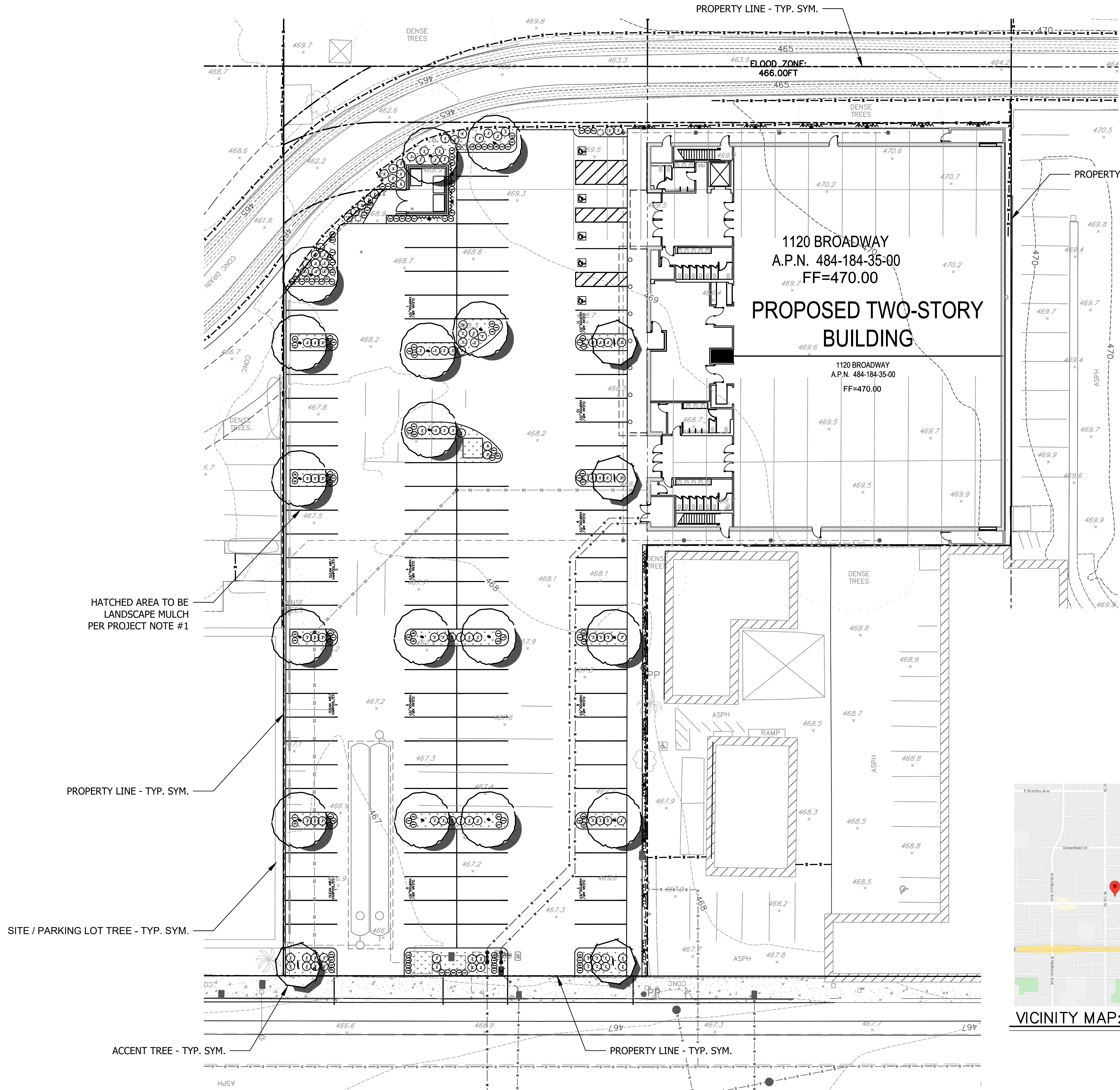
REQUEST: CONDITION USE PERMIT FOR BANQUET HALL FACILITY

PC RESOLUTION No. _____ APPROVED BY: _____

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PROPOSED PLANT PALETTE

- SITE / PARKING LOT TREE - 24" BOX**
- PODOCARPUS GRACILIOR / FERN PINE
 - CINNAMOMUM CAMPHORA / CAMPHOR TREE
 - ARBUTUS UNEDO / STRAWBERRY TREE

- ACCENT TREE - 15 GAL.**
- SYAGRUS ROMANZOFFIANA / QUEEN PALM
 - MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA

- MIDGROUND SHRUB - 5 GAL.**
- CALLISTEMON C. 'LITTLE JOHN' / DWARF BOTTLEBRUSH
 - PHORMIUM 'AMAZING RED' / NEW ZEALAND FLAX. VAR.
 - SALVIA GREGGII / AUTUMN SAGE
 - SALVIA LEUCANTHA / MEXICAN SAGE

- ACCENT SHRUB - 5 GAL.**
- DIANELLA VAR. / FLAX LILY VAR.
 - KNIPHOFIA U. 'FLAMENCO' / RED HOT POKER

- VINE - 5 GAL.**
- DISTICTIS BUCCINATORIA / TRUMPET VINE
 - HARDENBERGIA V. 'HAPPY WANDERER' / LILAC VINE
 - MACFADYENA UNGUIS-CATI / CAT'S CLAW

WDG Water Budget Calculations

Maximum Applied Water Allowance

$MAWA = (Eto) (0.45) (LA) (0.62)$

Eto	51.10
LA	2,576

MAWA 57,129

Shrub
Estimated Annual Water Use

$EAUW = (Eto) (PF) (HA) (0.62) / (IE)$

Eto	51.10
PF	0.3
HA	1,140
IE	0.8

EAUW 13,544 (Shrub)

Trees
Estimated Annual Water Use

$EAUW = (Eto) (PF) (HA) (0.62) / (IE)$

Eto	51.10
PF	0.5
HA	96
IE	0.8

EAUW 1,901 (Trees)

Total EAUW 15,445
Total MAWA 57,129

Gal / Day 42.32

PROJECT NOTES:

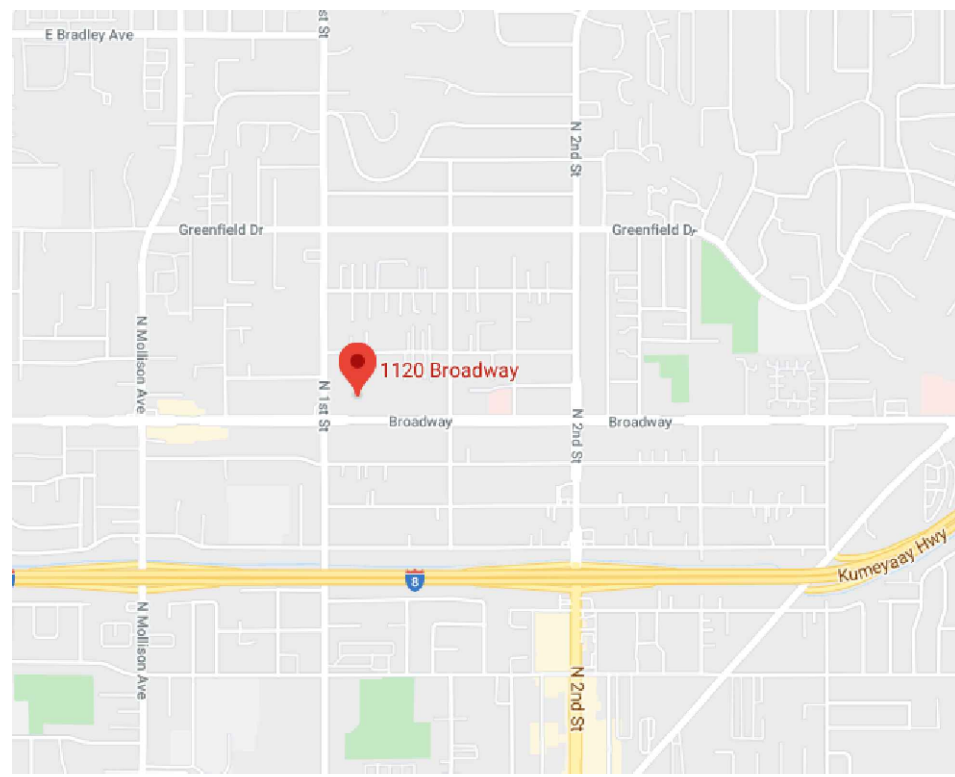
- ALL LANDSCAPE AREAS SHALL BE DRESSED WITH A 3" LAYER OF "WALK ON" MULCH (OR APPROVED EQ.) TO HELP RETAIN SOIL MOISTURE.
- A ROOT BARRIER OR EQUIVALENT SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS FOR ALL TREES WITHIN TEN FEET OF A PUBLIC SIDEWALK AND WITHIN FIVE FEET OF HARDSCAPE.
- TREES SHALL BE AT LEAST 8 FEET ABOVE THE GROUND AND BUSHES SHALL BE TRIMMED TO LESS THAN 3 FEET TO ALLOW FOR NATURAL SURVEILLANCE OF THE PROPERTY.
- LANDSCAPE SHALL NOT OBSTRUCT THE VIEW OF ANY WINDOWS, DOORWAY, SECURITY CAMERAS AND LIGHT.

PROJECT DESCRIPTION:

THE LANDSCAPING PROPOSED FOR THIS PROJECT SITE HAS BEEN DESIGNED TO BE DURABLE AND APPROPRIATE FOR COMMERCIAL SITE CONDITIONS. CARE HAS ALSO BEEN TAKEN TO SELECT PLANT MATERIAL APPROPRIATE FOR THIS CLIMATE ZONE AND WITH LOW TO MED / LOW WATER REQUIREMENTS. SEDGE GRASS IS PROPOSED WITHIN THE BIOFILTRATION AREA AND IS CONSISTENT WITH LID REQUIREMENTS FOR LANDSCAPE DESIGN.

THE IRRIGATION SYSTEM PROPOSED FOR THIS PROJECT SITE WILL INCLUDE AN AUTOMATIC IRRIGATION CONTROLLER WITH ET / SOLAR SENSOR AND AUTOMATIC RAIN SHUT OFF DEVICE. ALL DISTRIBUTION EQUIPMENT IS PROPOSED TO BE LOW VOLUME / POINT SOURCE TO MAXIMIZE SYSTEM EFFICIENCY.

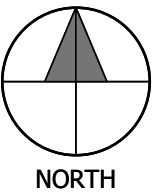
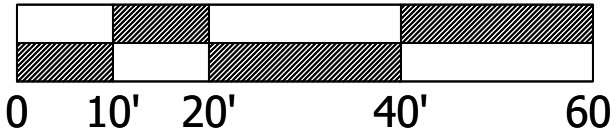
ALL PROPOSED LANDSCAPE DESIGN IS CONSISTENT WITH THE STATE OF CALIFORNIA AND CITY OF EL CAJON WATER EFFICIENT LANDSCAPE DESIGN REQUIREMENTS.



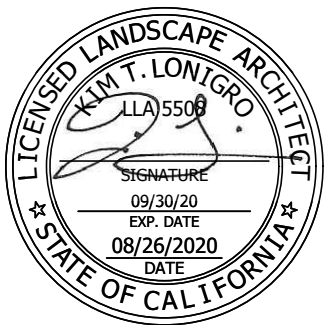
VICINITY MAP:

NO SCALE

SCALE - 1" = 20'-0"



WEILAND DESIGN GROUP, INC.
LANDSCAPE ARCHITECTURE • PLANNING • CONSTRUCTION MANAGEMENT
CORPORATE OFFICE 291 SIERRA WAVE SWALL MEADOWS, CA 93514
PHONE (844) WEILAND
EMAIL - KLONIGRO@W-D-G.COM WWW.W-D-G.COM



CITY OF EL CAJON

PERMIT NO. _____

APPLICANT: MR. HANI TOMA
ASSESSOR PARCEL NO(S): 484-184-31-00
REQUEST: CONDITION USE PERMIT FOR BANQUET HALL FACILITY
LANDSCAPE CONCEPT PLAN
PC RESOLUTION No. _____ APPROVED BY: _____
CC RESOLUTION No. _____
ORDINANCE No. _____ DATE: 08/26/2020